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**OLD BUSINESS: MINOR APPLICATIONS**

2021-063 NBLD

**HURRICANE COFFEE**

2424 N. MAIN STREET- NEW BUILD

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PLANNING AND ZONING DEPARTMENT STAFF REPORT – PAGE 1 OF 3

**DATE:** SEPTEMBER 15, 2021  
**SITE:** 2424 N. MAIN STREET, SUMMERVILLE SC 29486  
**PROJECT:** HURRICANE COFFEE  
2021-057 SIG (SIGN APPLICATION)  
2021-063 NBLD (NEW BUILD)

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Staff has reviewed the above referenced development plan, sign permit application and offers the following commentary. The City of Goose Creek Architectural Review Board suggestions from August 16, 2021 have also been added to this report.

The applicant should review the City’s Zoning Code for reference if any of the comments are unclear.

The proposal is for the construction of a new 364 square foot on a 1.2 acre site currently included in the property designated as TMS #222-07-00-004. This parcel is zoned General Commercial (GC), and the GC zoning permits the use as a coffee drive thru as an approved use by right.

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**SIGN COMMENTS:**

At the August 16<sup>th</sup> meeting of the ARB, they reviewed the sign permit for this location. The Board requested the applicant come back with a modified design and relocate the monument sign as this posed a line of vision issue for customer’s existing the site. Other considerations of the signs include but are not limited to:

- Free-standing signs, awning signs, canopy signs, marquee signs and temporary signs shall have a minimum setback of ten feet from the street curb, and shall not be installed within, nor project into the vertical plane of, the street right-of-way;
- Visible angle or other frames supporting projecting signs, roof and canopy signs, as well as chain supports are prohibited.
- ARB prefers name of business entity on sign versus COFFEE in large letters
- Address to be included on the sign.
- ARB prefers dark colored background with lighter colored letters.
- ARB prefers that the applicant not utilize a Roof Sign

**SITE PLANNING COMMENTS:**

- § 93.102 USE OF SEPTIC TANKS. Septic tanks approved by the South Carolina Department of Health and Environmental Control and kept in good sanitary condition will be required where sewer lines are not provided, but under no condition will septic tanks be accepted where sewer connections are available.
- § 151.085 LAND USE BUFFERS. A minimum of 15' landscaped and/or screened buffer area shall be provided along the northern and western property lines. These adjacent areas are zoned Residential within the County. Buffers are required for "...separating districts...incompatible uses and significant use intensity or density changes." Please verify that the 15' buffer on the west boundary and the 20' buffer at the rear northern boundary (both annotated as Type I) meet the Buffer specifications as outlined in section 151.085 (G)(1)(a).
- Customer Traffic/Driveway Isles encroach onto the neighboring property owned by the applicant. Staff recommends either re-orienting the position of the building, recording an access/easement onto the neighboring property for future development, or the eventual abandonment of the property line.

**ARCHITECTURAL COMMENTS:**

- One of the City Design Guidelines is that every building contains a "base", "middle" and "top". The current structure lacks the 3-part definition. To establish the base, staff recommends a 36-inch water table/bulkhead of a contrasting material such as stone, brick, tile or other material.
- If the building can be re-oriented to have the gable end of the structure face Main Street, that would be preferable. Staff feels on-site circulation could benefit from this re-orientation.
- Staff suggests a bright trim color for the building to provide more visual interest for attracting customers to the site.

**GENERAL COMMENTS:**

1. Storm water plans must be approved by County engineering.
2. Water service to the site must be coordinated with and approved by the City's Department of Public Works.
3. The City will not issue final plan approval until all external review agencies have completed their reviews. External approval letters must be provided to the City with the final plan submitted for permit approval.

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PLANNING AND ZONING DEPARTMENT STAFF REPORT – PAGE 3 OF 3

4. Curbing and curb cuts shall comply with standards of the South Carolina Department of Highway and Public Transportation. As per §151.082 (G) (1), concrete curb and gutters are required throughout the site. The plans shall include this design standard. The minimum standard to be 18-inch concrete roll. Per section 151.086 (C) area and paving required for parking spaces (to be nine feet x 18 feet per space).
5. Site lighting shall be concealed and mounted on naturally stained or earth tone painted fixtures. The lighting plan shall be integrated into the full landscape plan. If wall mounted light fixtures are to be used, such fixtures shall compliment the building materials used and be approved by the ARB. If lighting is integrated into the site plan, a lighting plan shall be submitted directly to Berkeley Electric Cooperative (BEC).
6. All utility elements, junction and access boxes must be screened with appropriate landscaping.
7. All exterior trash receptacles shall be sufficient in size to accommodate the trash generated. All trash containers shall be screened from view on all four sides and shall remain closed except when in use. The screening materials shall be architecturally compatible with its corresponding building. Refuse areas shall be landscaped and, if necessary, screened appropriately. Trash areas shall be located for convenience of trash collection and away from major streets.

**GENERAL NOTES**

- DESIGN IS IN ACCORDANCE WITH THE LATEST ISSUE WITH AMENDMENTS OF THE 2018 INTERNATIONAL BUILDING CODE WITH SC AMENDMENTS
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS AND THE EXISTENCE OF UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS FOR CONSTRUCTION.

**CONCRETE NOTES**

- ALL CONCRETE TO BE  $f'_c = 4000$  psi
- CONTRACTOR TO FORM, PLACE, CURE, FINISH, AND PROTECT CONCRETE IN ACCORDANCE WITH THE ACI 301 IN FORCE.
- DESIGN IS IN ACCORDANCE WITH THE LATEST ISSUE WITH AMENDMENTS OF THE INTERNATIONAL BUILDING CODE.
- EMBEDDED STEEL SHALL BE HOT DIPPED GALVANIZED.
- THE EXISTING SOIL DESIGN PRESSURE IS ASSUMED TO BE AT LEAST 1500 PSF. THE CONTRACTOR SHALL EMPLOY THE SERVICES OF A LICENSED GEOTECHNICAL AGENCY TO CONFIRM A MINIMUM OF 1500 PSF.
- STEEL REINFORCING SHALL BE ASTM A615 60 KSI.

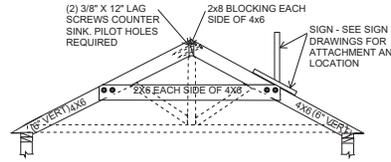
**PREFABRICATED WOOD TRUSSES**

- PREFABRICATED ROOF TRUSS MANUFACTURER SHALL SUBMIT CALCULATIONS AND TRUSS LAYOUT OR FRAMING PLAN TO SECURE APPROVALS FROM ARCHITECT AND BUILDING DEPARTMENT PRIOR TO ERECTION.
- ALL LUMBER AND ITS FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION, BY THE AMERICAN FOREST AND PAPER ASSOCIATION. CONFORM TO APPLICABLE PROVISIONS OF TPI DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (LATEST EDITION).
- DESIGN SHALL CONSIDER LOADS INDICATED AS WELL AS ALL MECHANICAL EQUIPMENT AND CEILING SOFFIT CONSTRUCTION SHOWN ON THE ARCHITECTURAL DRAWINGS.
- TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING MINIMUM LOADS:  
TOP CHORD:  $LL=20$  PSF AT ROOF  
 $LL$ -S REQUIRED BY BUILDING CODE OR AS INDICATED ON DRAWINGS, WHICHEVER IS GREATER AT FLOORS.  
DL=10 PSF AT ROOF  
DL=20 PSF AT FLOORS  
BOTTOM CHORD: DL=10 PSF
- ROOF TRUSSES SHALL BE DESIGNED FOR A NET WIND UPLIFT LOAD OF 25PSF.
- TRUSS CHORDS AND WEBS:  
DOUGLAS FIR OR SOUTHERN PINE, MAXIMUM MOISTURE CONTENT 15% 25 PS20, GRADED TO NFPA RULES.  
MINIMUM GRADE OF CHORD, NO. 2  
MINIMUM GRADE OF WEB MEMBERS, NO. 3
- ALL TRUSSES SHALL BE DESIGNED FOR THE ACTUAL DEAD LOAD PLUS LIVE LOAD (SPECIFIED ABOVE). MAXIMUM DEFLECTION DUE TO LIVE LOAD ONLY SHALL NOT EXCEED  $L/360$ . MAXIMUM DEFLECTION DUE TO TOTAL LOAD SHALL NOT EXCEED  $L/240$ . ROOF SLOPE SHALL BE  $1/4"$  PER FOOT OR GREATER AFTER LONG TERM DEFLECTION OCCURS.

- SHOP DRAWINGS SHALL INDICATE ALL LATERAL BRIDGING REQUIRED WHICH SHALL BE SUPPLIED BY THE CONTRACTOR.
- SHOP DRAWINGS FOR ALL TRUSSES. SHOP DRAWINGS SHALL INDICATE PLACING OF ALL FRAMING MEMBERS SHOWING TYPE, SIZE, NUMBER, LOCATION AND SPACING. THEY SHALL ALSO INDICATE SUPPLEMENTAL BRACING, SPLICES, BRIDGING, ACCESSORIES AND DETAILS REQUIRED FOR PROPER INSTALLATION.
- SHOP DRAWINGS SUBMITTED MUST BE PREPARED UNDER THE SUPERVISION OF AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE WHERE THE PROJECT IS LOCATED.
- ALL TRUSSES AND CONNECTIONS SHALL BE DESIGNED BY THE SUPPLIER'S ENGINEER. SUBMIT CALCULATIONS FOR ALL TRUSSES AND THEIR CONNECTIONS.
- TEMPORARY BRACING, WHERE REQUIRED, SHALL BE PROVIDED UNTIL THE ERECTION IS COMPLETE.

**LUMBER**

- ALL LUMBER AND ITS FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION, BY THE AMERICAN FOREST AND PAPER ASSOCIATION.
- ALL LUMBER SHALL BE SOUTHERN PINE OF THE FOLLOWING GRADE UNLESS OTHERWISE NOTED (OR EQUIVALENT GRADE OF ANOTHER SPECIES):  
RAFTERS AND JOISTS:  
 $2 \times 4$  TO  $2 \times 12$  INCLUSIVE. . . . . NO. 1 OR BETTER  
STUDS AND PLATES. . . . . NO. 1  
BEAMS  
 $4 \times$  . . . . . NO. 1  
 $6 \times$  AND LARGER. . . . . NO. 1  
POSTS. . . . . NO. 2
- MISCELLANEOUS LUMBER:  
BLOCKING, FURRING, ETC. . . . . NO. 2
- ALL WOOD BEARING ON CONCRETE, MASONRY, OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED SOUTHERN PINE.
- STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, DUCTWORK, ETC., UNLESS SPECIFICALLY NOTED OR DETAILED.
- HOLES FOR BOLTS SHALL BE BORED  $1/32"$  TO  $1/16"$  LARGER THAN THE NOMINAL BOLT DIAMETER.
- ALL BOLTS SHALL BE RE-TIGHTENED PRIOR TO APPLICATION TO GYPSUM WALLBOARD, PLYWOOD, ETC.
- ALL BOLTS BEARING ON WOOD SHALL HAVE WASHERS UNDER HEAD AND/OR NUT.
- $2 \times$  SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS, ENDS OF CANTILEVERS, AND HALFWAY BETWEEN SUPPORTS. CROSS BRIDGING OR SOLID BRIDGING SHALL BE PROVIDED AT  $8'-0"$  O.C. MAXIMUM. FOR ALL JOISTS AND RAFTERS MORE THAN  $8"$  IN DEPTH,  $2 \times 3$  OR APPROVED METAL TYPE BRIDGING MAY BE USED.
- FLOOR JOISTS SHALL BEAR DIRECTLY OVER STUDS OF THE SUPPORTING WALL.
- ALL NAILS SHALL BE COMMON UNLESS NOTED OTHERWISE.
- ADHESIVES SHALL MEET THE REQUIREMENTS FOR WET CONDITIONS OF SERVICE. EXPOSED BEAMS SHALL BE ARCHITECTURAL GRADE; ALL OTHERS SHALL BE INDUSTRIAL GRADE. MEMBERS SHALL BE INDIVIDUALLY WRAPPED



1  
S-1  
ROOF SECTION AT SIGN (2 REQ'D)  
NOT TO SCALE

**2018 INTERNATIONAL BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS**

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factor:	Snow (S <sub>s</sub> )	1.0
	Seismic (I <sub>e</sub> )	1.0
Wind Loads:	Roof	20 psf
	Headwind	20 psf
	Floor	20 psf
Ground Snow Load:		5 psf
Wind Load:	Ultimate Wind Speed	140 mph (ASCE-7)
	Exposure Category	C

SEISMIC DESIGN CATEGORY:  A  B  C  D

Provide the following Seismic Design Parameters:

Risk Category (Table 1604.5)  I  II  III  IV  S<sub>s</sub> = .57

Spectral Response Acceleration  A  B  C  D  E  F

Site Classification (ASCE 7)  I  II  III  IV  V  VI  VII

Data Source:  Field Test  Prescriptive  Historical Data

Basic structural system:  Bearing Wall  Dual w/ Special Moment Frame  Dual w/ Intermediate R/C or Special Steel  Building Frame  Moment Frame  Inverted Pendulum  Shear Wall  Equivalent Lateral Force  Dynamic

Analyze Procedure:  Architectural, Mechanical, Components anchored?  Yes  No

LATERAL DESIGN CONTROL: Earthquake  Wind  V<sub>w</sub> = 28Kips, V<sub>y</sub> = 10.3Kips

SOIL BEARING CAPACITIES:

Field Test (provide copy of test report)	1500 psf
Prescriptive bearing capacity	
File size, type, and capacity	



TURNKEY DESIGN-COMMERCIAL, RETAIL, RESIDENTIAL & INDUSTRIAL CHARLOTTE, N.C. T: 704.578.8688



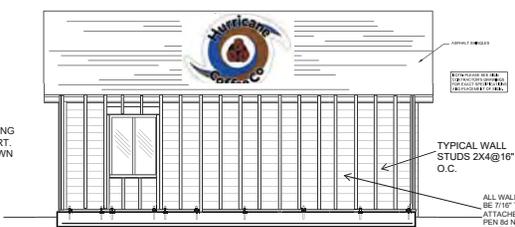
HURRICANE COFFEE  
2424 N MAIN ST.  
SUMMERVILLE, SC 29483  
NEW COFFEE SHOP



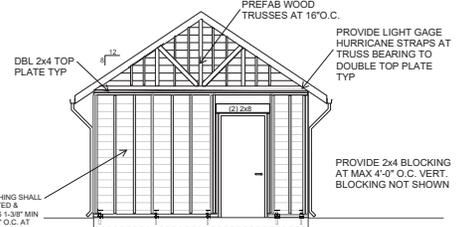
DRAWING ISSUED FOR: FOUNDATION PLAN, WALL ELEVATIONS, ROOF FRAMING PLAN, SECTIONS, DETAILS AND GENERAL NOTES

FILE NAME:  
DATE: 08/02/2021  
PROJECT NUMBER:  
SHEET TITLE:  
FOUNDATION PLAN, WALL ELEVATIONS, ROOF FRAMING PLAN, SECTIONS, DETAILS AND GENERAL NOTES

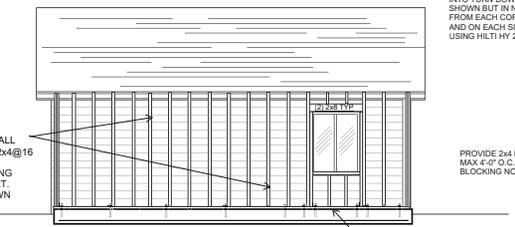
S-1



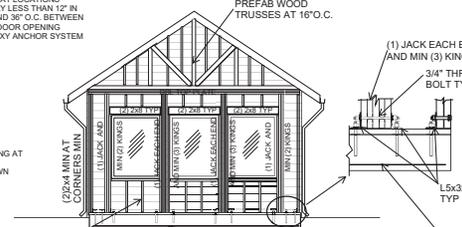
3  
S-1  
SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



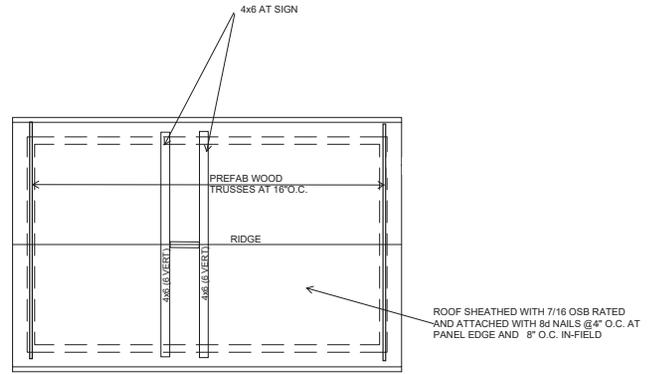
6  
S-1  
WEST ELEVATION  
SCALE: 1/4" = 1'-0"



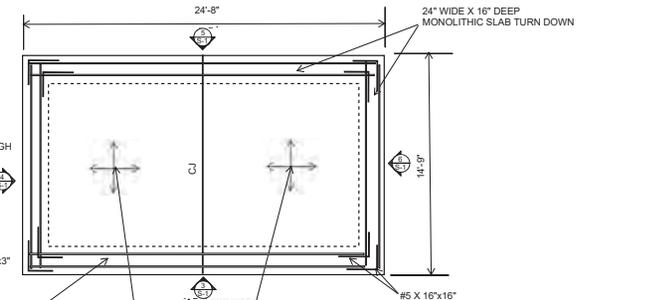
5  
S-1  
NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



4  
S-1  
EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2  
S-1  
ROOF PLAN  
SCALE: 1/4" = 1'-0"



1  
S-1  
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



1 SITE PLAN  
E-05 SCALE: 3/32" = 1'-0"

LEGEND NOTES:  
 (APPLY THIS PLAN ONLY)  
 1 PROVIDE AND INSTALL JUNCTION BOX FOR CONNECTION TO SITE SIGNAGE. COORDINATE EXACT LOCATION OF SIGN WITH OWNER PRIOR TO ROUGH-IN.

**BENSON  
DESIGN  
GROUP**

TURNKEY DESIGN-COMMERCIAL,  
RETAIL, RESIDENTIAL & INDUSTRIAL  
CHARLOTTE, N.C.  
T: 704-578-8688



**ENGITECTURE**  
CONSULTING ENGINEERS  
ENGITECTURE, PLLC  
SC License No. 62284  
1515 Mockingbird Lane, Suite 7108  
Charlotte, NC 28226  
704-287-2193

**HURRICANE COFFEE**  
2424 N MAIN ST.  
SUMMERVILLE, SC 29483  
**NEW COFFEE SHOP**



DRAWING ISSUED FOR:  
**FOR CONSTRUCTION**  
REVISIONS:

FILE NAME: ELECTRICAL.dwg  
DATE: 8/6/21  
PROJECT NUMBER:

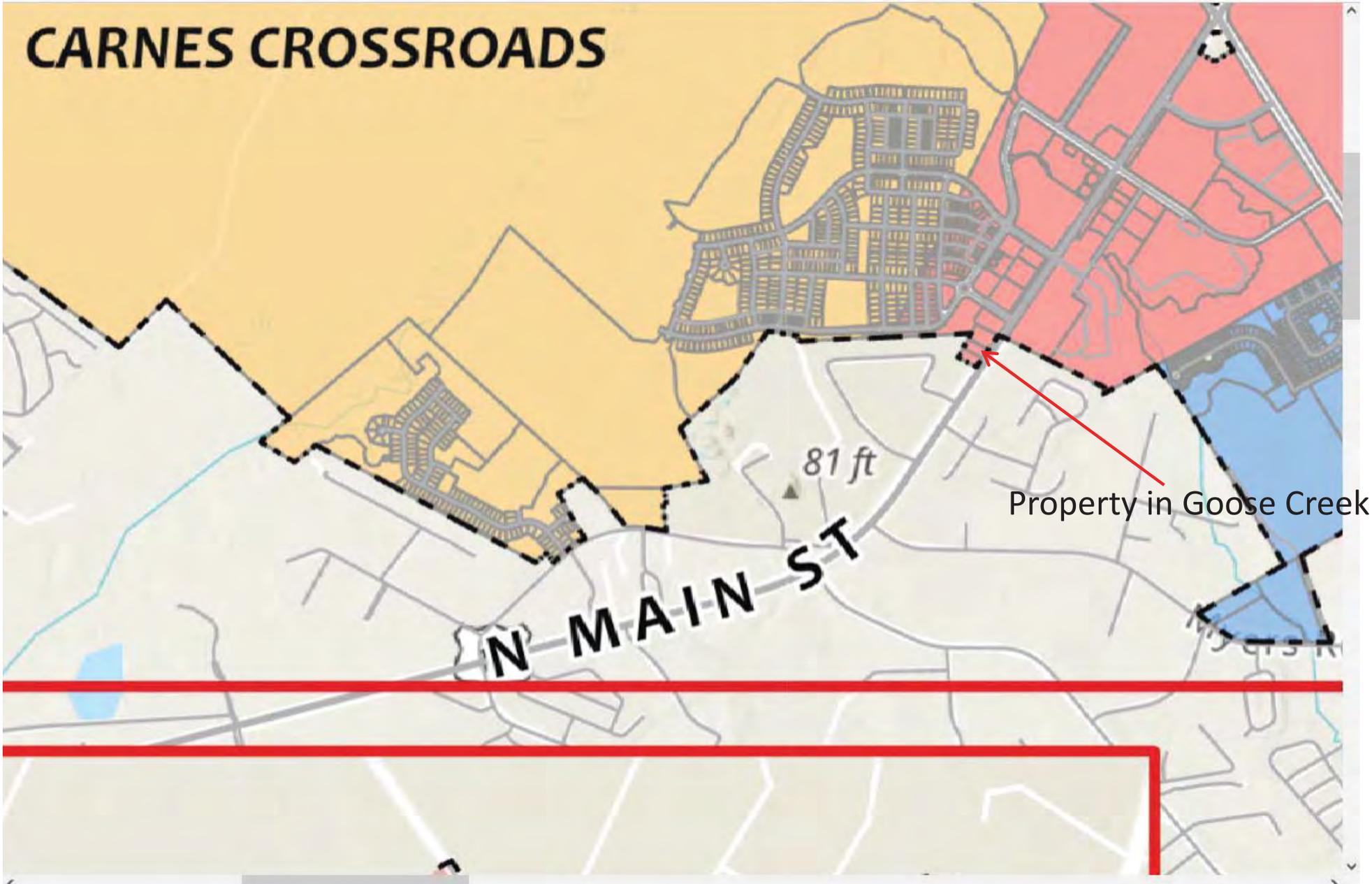
SHEET TITLE:  
ELECTRICAL SITE PLAN

SHEET:  
**E-05**





# CARNES CROSSROADS



Property in Goose Creek

N/F  
EDVIN A. & MARLENY GONZALEZ  
PIN: 2220700005  
DB. 4476, PG. 166  
PB. W, PG. 39  
ZONE: R2

N31° 37' 26"W  
223.90'

10' SIDE SETBACK

10' SIDE SETBACK

20' FRONT SETBACK

20' FRONT SETBACK

EX. CONCRETE PAD

10'x70' S.I.

10'x70' S.I.

24'

99.98'

99.98'

PROP. BUILDING

~106'

R3 R3

R3

R30.5

R30.5

R15

S31° 33' 08"E  
237.66'

N MAIN STREET (US-1)  
EX. VARIABLE PUBLIC

GRAPHIC SCALE



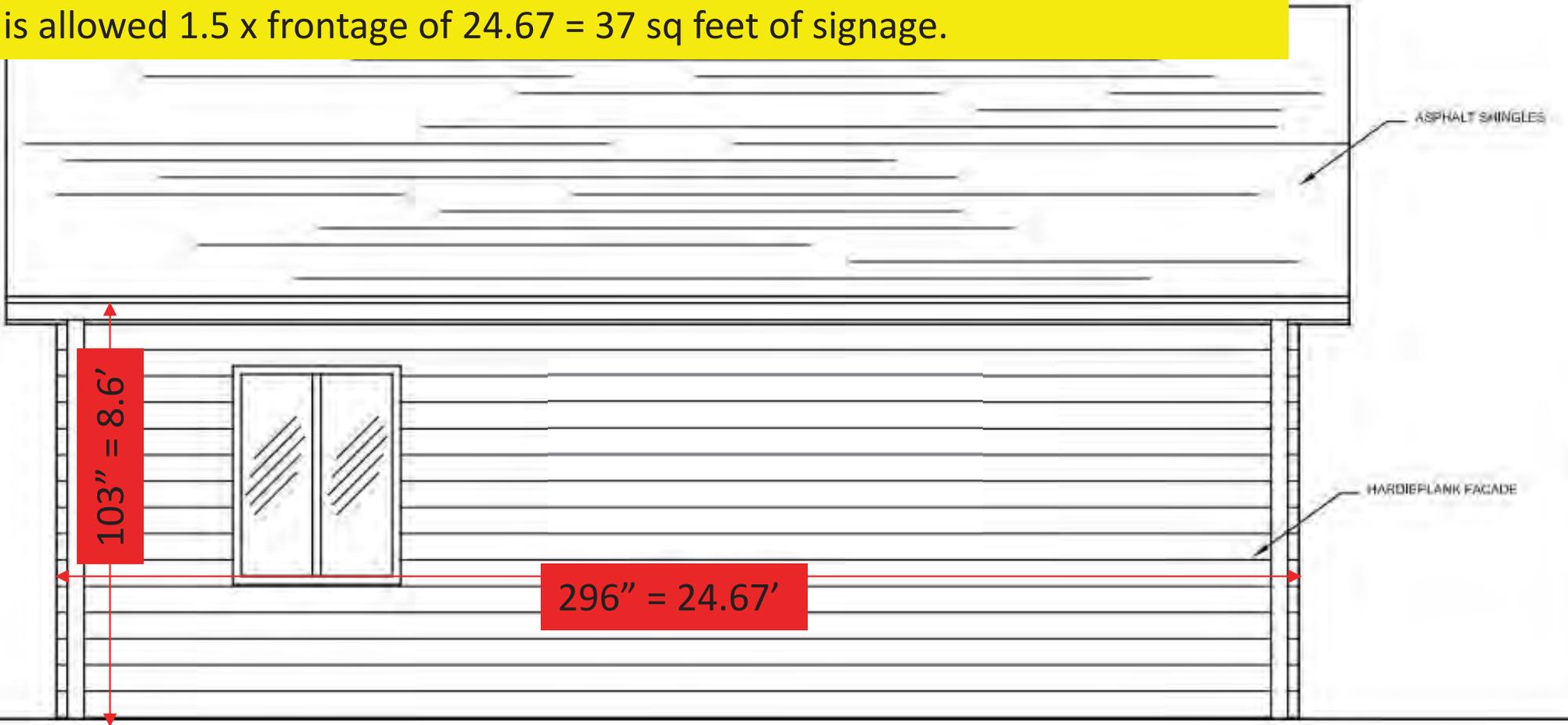
( IN FEET )  
1 inch = 20 ft.

Right of way

Curb & Gutter

## Allowable Signage:

As building is located 106' from property line (see next page), the business is allowed 1.5 x frontage of 24.67 = 37 sq feet of signage.



6  
A-01

## SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

<i>Distance From Front Property Line To Business Front:</i>	<i>Business Frontage Multiplied By:</i>	<i>Total Area (Square Feet) Not To Exceed:</i>	<i>Total Number Of Signs Not To Exceed:</i>
0-99 feet	1	200	2
100-399	1.5	300	3
400 feet or more	2	400	4

Note: The intent of this section is to not have a sign dominating the overall size of the building. Any sign is subject to the aesthetic review of the Architectural Review Board.

2424 N. Main Street; Summerville, SC 29486

Proposed Roof-Mounted Sign:  
Internally illuminated logobox cabinet

Embossed and painted. Cap over face  
Internal illumination. **Quantity 1**



**Job Name**

Hurricane Coffee Co

**Date:**

7/31/20

**Notes**

82.5" wide x 60"  
tall Sign Cabinet

Square Footage:  
34.4

**CUSTOMER'S APPROVAL**

- Approved
- Approved With Changes
- Revise and Proof Again

Signature \_\_\_\_\_

Date \_\_\_\_\_

**PROPERTY MANAGER'S APPROVAL**

- Approved
- Approved With Changes
- Revise and Proof Again

Signature \_\_\_\_\_

Date \_\_\_\_\_



**Signarama**  
CHARLESTON

1340 Chuck Dawley Blvd., Mt. Pleasant, SC 29464 • PH 843.881.7881 • Fax 843.881.7883 • Andy@Signarama-Charleston.com • Signarama-Charleston.com

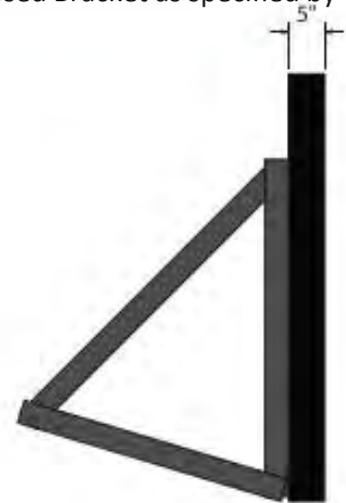


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Proposed Roof-Mounted Sign: Bracket and Attachment Details



Proposed Bracket as specified by engineer



**Job Name**  
Hurricane Coffee

**Date:**  
8/24/21

**Notes**

Roof mounted sign cabinet  
Internally Illuminated  
82.5" x 60" x 5"  
Square Footage: 34.4

FASTENERS AS SPECIFIED BY ENGINEER FOR ATTACHMENT TO ROOF.

CUSTOMER'S APPROVAL

Approved  
 Approved With Changes  
 Revise and Proof Again

Signature \_\_\_\_\_  
Date \_\_\_\_\_

PROPERTY MANAGER'S APPROVAL

Approved  
 Approved With Changes  
 Revise and Proof Again

Signature \_\_\_\_\_  
Date \_\_\_\_\_



6 SOUTH ELEVATION  
A-01 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION  
A-01 SCALE: 1/4" = 1'-0"



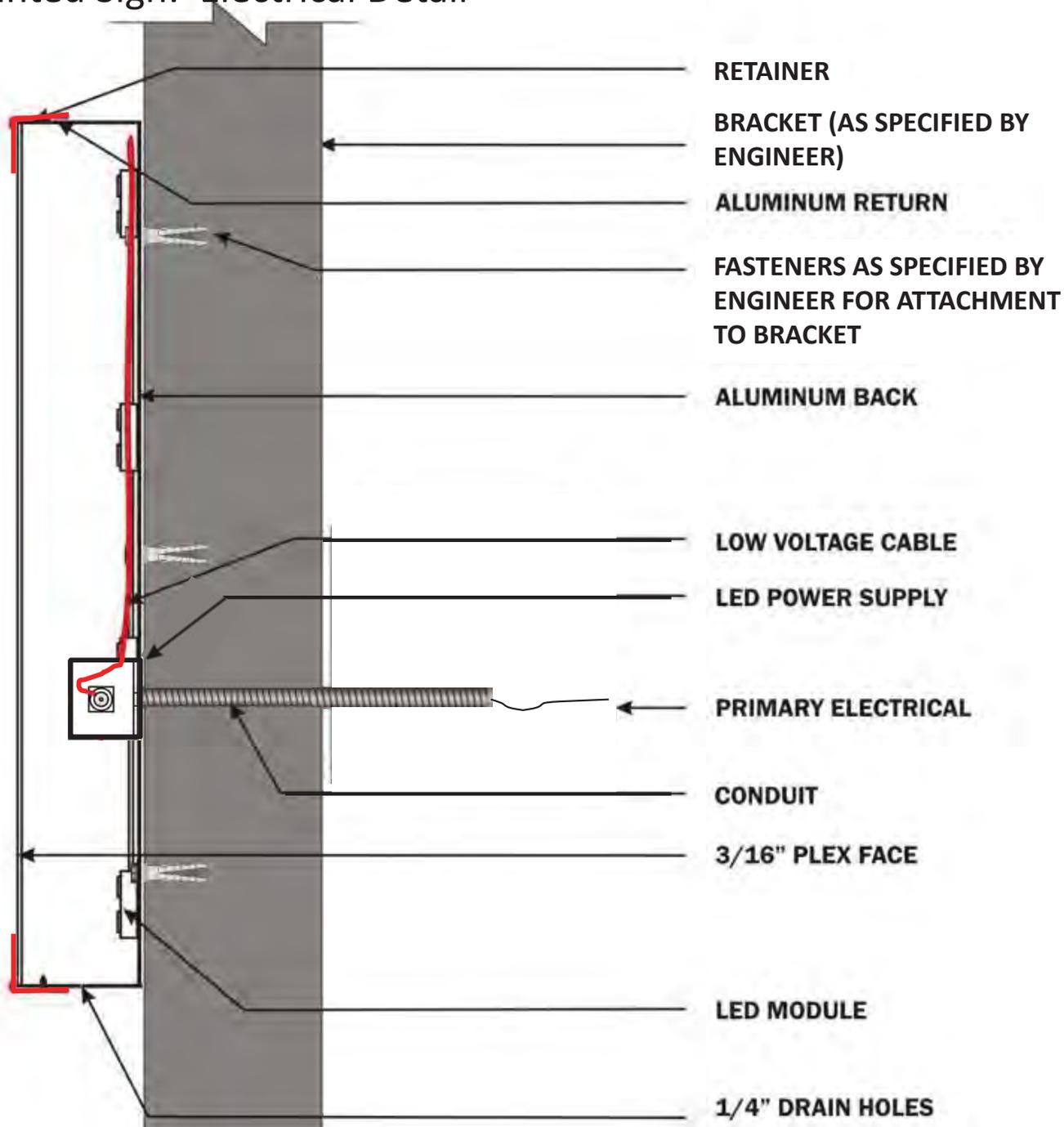
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# Roof-Mounted Sign: Electrical Detail





**Job Name**  
Hurricane Coffee

**Date:**  
8/24/21

**Notes**

Roadside Sign

45 sq ft cabinet that is 9' wide, 5' tall on top of base that is 2' tall x 7' wide

Overall Sign Height:  
2' base + 5' sign = 7' tall

Opaque Background

**CUSTOMER'S APPROVAL**

Approved

Approved With Changes

Revise and Proof Again

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**PROPERTY MANAGER'S APPROVAL**

Approved

Approved With Changes

Revise and Proof Again

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Overall Sq Footage: 108" x 60" = 45 sq feet  
 Overall Sign Height: 2' base + 5' sign = 7' tall  
 Address #'s are 8" tall



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CHARLESTON



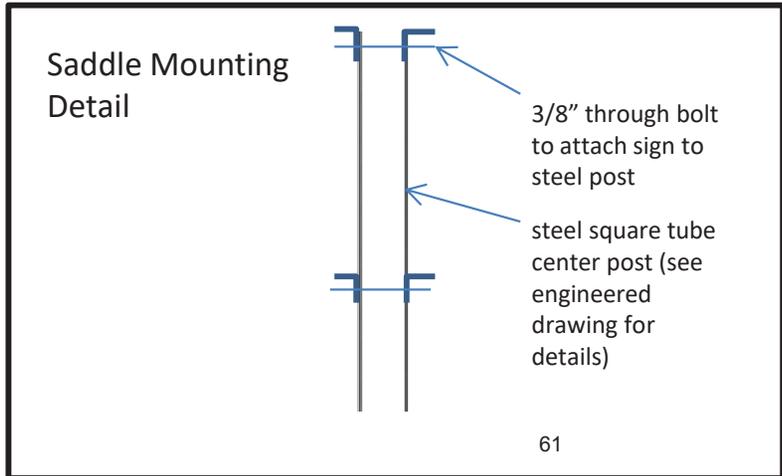
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# Proposed Monument – Construction Detail



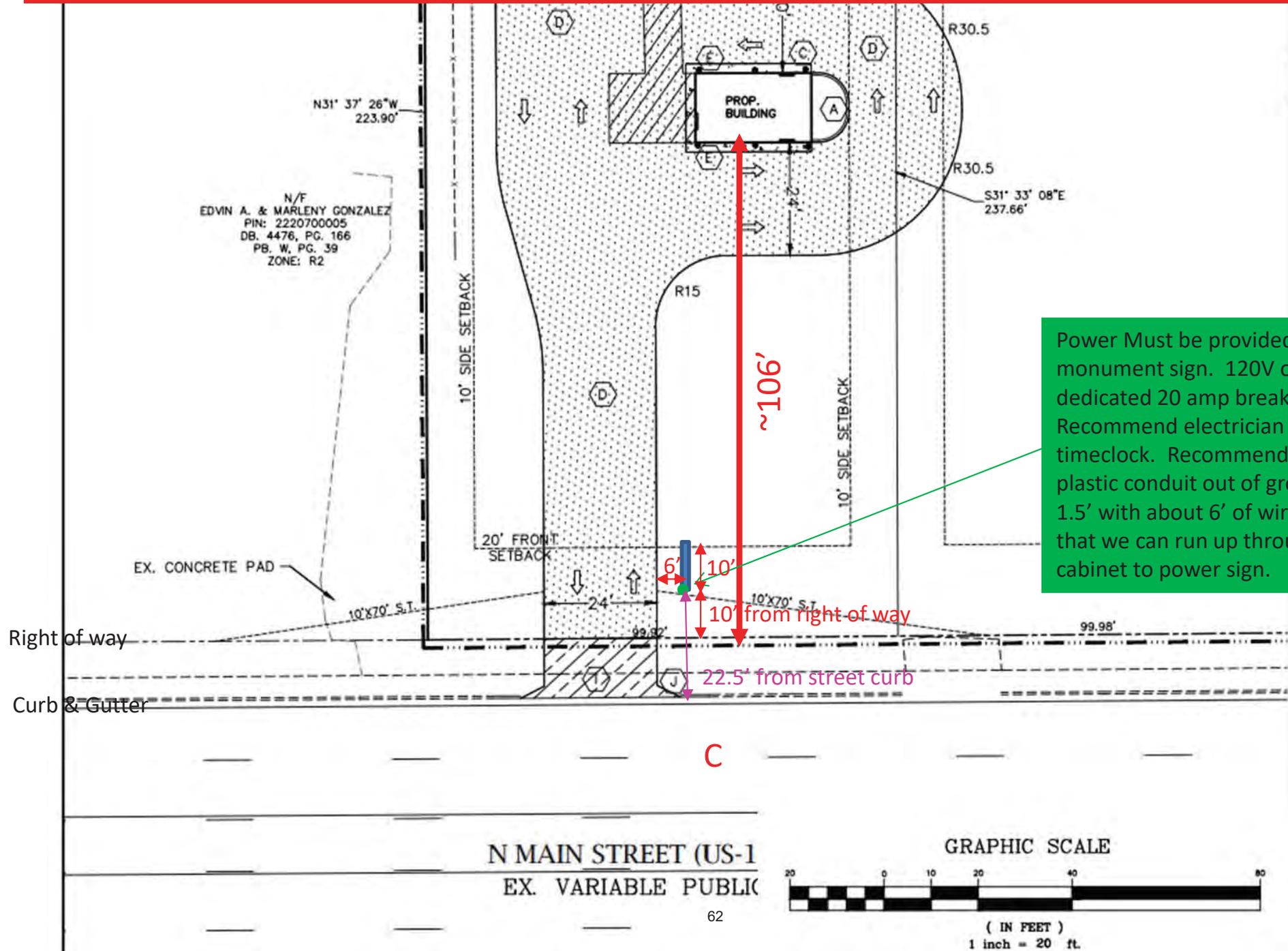
- Double-Sided cabinet (12' deep)
- Embossed Acrylic Faces
- Internally illuminated LED lighting
- Pole skirt
- Single-pole mounted (saddle mount)
- steel square tube center post
- Base of cabinet to be black



Foundation Details  
(See Engineered Drawing)



Roadside Sign Location (Option C): Sign has been moved back to 22.5' from curb so it is out of the sight triangle per recommendations from Goose Creek Planning Department Staff.



Power Must be provided for monument sign. 120V on dedicated 20 amp breaker. Recommend electrician tying into timeclock. Recommend leaving plastic conduit out of ground about 1.5' with about 6' of wire coiled up that we can run up through sign cabinet to power sign.





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**OLD BUSINESS: MINOR APPLICATIONS**

2021-073 NBLD

**TIME TO SHINE**

539 ST. JAMES AVE- NEW BUILD

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**MEMORANDUM**

**TO:** Angie Warren  
Wild Building Construction, Inc.  
**FROM:** Brenda M. Moneer, Planning and Zoning Technician   
**RE:** Goose Creek Time to Shine – at St. James Av. And Plantation North  
**DATE:** September 8, 2021

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Staff has reviewed the above revisions for resubmittal to the ARB and offers the following commentary:

**General Comments**

1. The proposal is for the construction of a new 5,086 square foot Time to Shine Carwash on a currently developed property. Plans include demo of existing structure. Said property is zoned General Commercial (GC), and this is an approved use by right for the zoning classification.
2. The site is located at parcel identified as 539 St. James Av. The civil and architectural plans must comply with Section 151.197 of the Zoning Ordinance.
3. As per §151.196 of the Zoning Ordinance, the development is subject to Architectural Review Board (ARB) approval. The ARB reviewed the site plan, landscaping plan, elevations, colors, and materials for the property on August 16, 2021. Signage was not a part of this review. The ARB required certain architectural adjustments to the plans, and the final architectural plans incorporate these additions as required. As a part of the ARB review, the Board tasked staff to work with the applicant on the design as per their comments. Staff offers the following to address the concerns from the Board that have not yet been shown in the modified submittal.
  - Windows along St. James – ARB concerned regarding lighting within the carwash creating a vehicular visual disturbance. Staff recommends Bahama shutters at each opening over the raised garage doors in lieu of the metal canopy that runs along the fascia on the St. James Side.
  - The Board was very pleased with the Savannah Hwy. elevation. Staff recommends the brick columns and continuous roofing mimic that of the Savannah Hwy. location.
  - Landscaping – Staff recommends incorporating Palm trees at each brick column on the St. James side and at the canopies covering the vacuum areas. Also, a color rendering for the Landscape plan and elevations updated with revised landscaping.
4. Site lighting shall be concealed and mounted on wood fixtures or naturally stained or earth tone painted fixtures. The lighting plan shall be integrated into the full landscape plan. If wall mounted light fixtures are to be used, such fixtures shall compliment the building materials used and approved by the ARB. If lighting is integrated into the site plan, a lighting plan shall be submitted directly to Berkeley Electric Cooperative (BEC).
5. In accordance with §151.197 (C)(3)(b), the proposed refuse collection area shall be screened on three (3) sides with opaque fencing to compliment the primary structure and shall be finished with landscaping at the base of the fence. A detail including the design of this structure showing materials shall be incorporated into the submittal.

# ARCHITECTURAL REVIEW BOARD PLANS

FOR

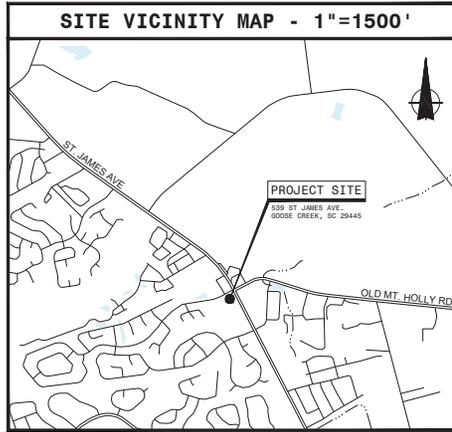
# TIME TO SHINE AT ST JAMES AVE.

IN

## CITY OF GOOSE CREEK, SC

**GENERAL NOTES:**

1. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
2. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.
3. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER.
4. BOUNDARY AND TOPOGRAPHY HAS NOT BEEN FIELD VERIFIED BY THE ENGINEER. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES OR CONFLICTS TO THE ENGINEER PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY AND LOCAL MUNICIPALITIES.
7. ALL MATERIALS, METHODS, AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND REGULATIONS OF THE BERKELEY COUNTY, THE CITY OF GOOSE CREEK, SOUTH CAROLINA DEPARTMENT OF HEALTH & ENVIRONMENTAL CONTROL (SCDHEC), & SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SDOT).
8. ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, LATEST EDITION.
9. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE, & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
10. THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING INFRASTRUCTURE WITHIN THE SITE OR ADJOINING PROPERTIES (I.E. PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS ETC.). THE CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER IN ACCORDANCE WITH LOCAL REGULATORY REQUIREMENTS.
12. CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION [INCLUDING UNDERGROUND UTILITIES] TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES, AS REQUIRED.
13. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL UTILITIES BY THE APPROPRIATE UTILITY COMPANY AND SUBCONTRACTORS PERFORMING WORK TO AVOID CONFLICTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING INSTALLATION OF ALL UTILITIES IN A TIMELY, ORGANIZED, AND SYSTEMATIC MANNER.
14. IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING FIELD ADJUSTMENTS.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL etc. IN A LEGAL MANNER.
16. THE CONTRACTOR SHALL REFERENCE THE PROJECT GEOTECHNICAL REPORT AND COMPLY WITH ALL REPORT RECOMMENDATIONS. IF A CONFLICT ARISES BETWEEN CIVIL DOCUMENTS AND GEOTECHNICAL REPORT, THE MORE STRINGENT SHALL GOVERN.



SMT. NO.		SHEET NAME	GOOSE CREEK	WATER	SEWER	STORMWATER	UTILITY	LANDSCAPE
<b>SITE CIVIL</b>								
C-001		COVER SHEET						
C-002		EXISTING CONDITIONS						
C-101		SITE PLAN						
C-102		SITE PLAN W/ AERIAL OVERLAY						
C-103		LANDSCAPE PLAN						
<b>ARCHITECTURAL</b>								
A-1		FLOOR PLAN						
A-2		EXTERIOR ELEVATIONS						
A-3.1		EXTERIOR ELEVATIONS COLORS & MATERIALS (TUNNEL ELEV.)						
A-3.2		EXTERIOR SITE ELEVATIONS COLOR						
A-3.3		EXTERIOR PERSPECTIVES COLOR (PLANTATION NORTH BLVD.)						
A-3.4		EXTERIOR PERSPECTIVES COLOR (PROPERTY TO THE SOUTH)						
A-3.5		EXTERIOR PERSPECTIVES COLOR (ST JAMES AVE., LOOKING NORTH)						
A-3.6		EXTERIOR PERSPECTIVES COLOR (ST JAMES AVE., LOOKING SOUTH)						

DEVELOPED BY

## TIME TO SHINE CAR WASH, INC.

**LAND DISTURBANCE**  
11.3 ACRES



**PROJECT CONTACTS**

<p><b>DEVELOPER/OWNER</b> TIME TO SHINE CAR WASH, INC. 2814 BYINGTON SOLWAY RD. KNOXVILLE, TN 37901 CONTACT: MIKE ROPER PHONE: (803)760-3437 EMAIL: MROPER@ROCMCAST.NET</p>	<p><b>ENGINEER</b> JACOB RICE ENGINEERING, LLC 14 CALENDAR CT. COLUMBIA, SC 29206 CONTACT: ALDEN LIVINGSTON PHONE: (803)760-3437 EMAIL: ALDLIVINGSTON@ACORRICEENGINE.COM</p>	<p><b>SURVEYOR</b> SURVEYING &amp; MAPPING, LLC (SAM) 6904 N. MAIN ST., SUITE 102 COLUMBIA, SC 29203 CONTACT: DON WILSON PHONE: (803)764-1902 EMAIL: DON.WILSON@SAM.BIZ</p>	<p><b>ARCHITECT</b> FALCONIER DESIGN 4622 CHAMBLISS AVE. KNOXVILLE, TN 37919 CONTACT: GRAMM FOX PHONE: (865)584-7868 EMAIL: GRAMM.FOX@FALCONIER.NET</p>	<p><b>CONTRACTOR</b> WILD BUILDING CONSTRUCTION, INC. 225 W. 1st NORTH STREET, SUITE 102 KNOXVILLE, TN 37814 CONTACT: LANCE WILDS PHONE: (423)581-5639 EMAIL: LANCEWILDS@BUILDING.COM</p>	<p><b>PLANNING &amp; ZONING</b> CITY OF GOOSE CREEK 519 NORTH GOOSE CREEK BLVD. GOOSE CREEK, SC 29446 CONTACT: PHONE: (843)797-6220 EMAIL:</p>	<p><b>STORMWATER</b> BERKELEY COUNTY 1003 HWY 52 BONNS CORNER, SC 29461 CONTACT: PHONE: (843)719-4234 EMAIL:</p>	<p>*** THE INDIVIDUALS LISTED *** HERE-IN ARE INTENDED TO BE POINTS OF CONTACT AND ARE NOT NECESSARILY THE PROFESSIONALS OF RECORD. REFER TO THE INDIVIDUAL DISCIPLINE PLANS FOR INFORMATION REGARDING THE RESPECTIVE PROFESSIONALS OF RECORD.</p>
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**TIME TO SHINE AT ST JAMES AVE.**  
 CITY OF GOOSE CREEK, SC  
**TIME TO SHINE CAR WASH, INC.**  
**COVER SHEET**

**DRAWING NUMBER**  
**C-001**

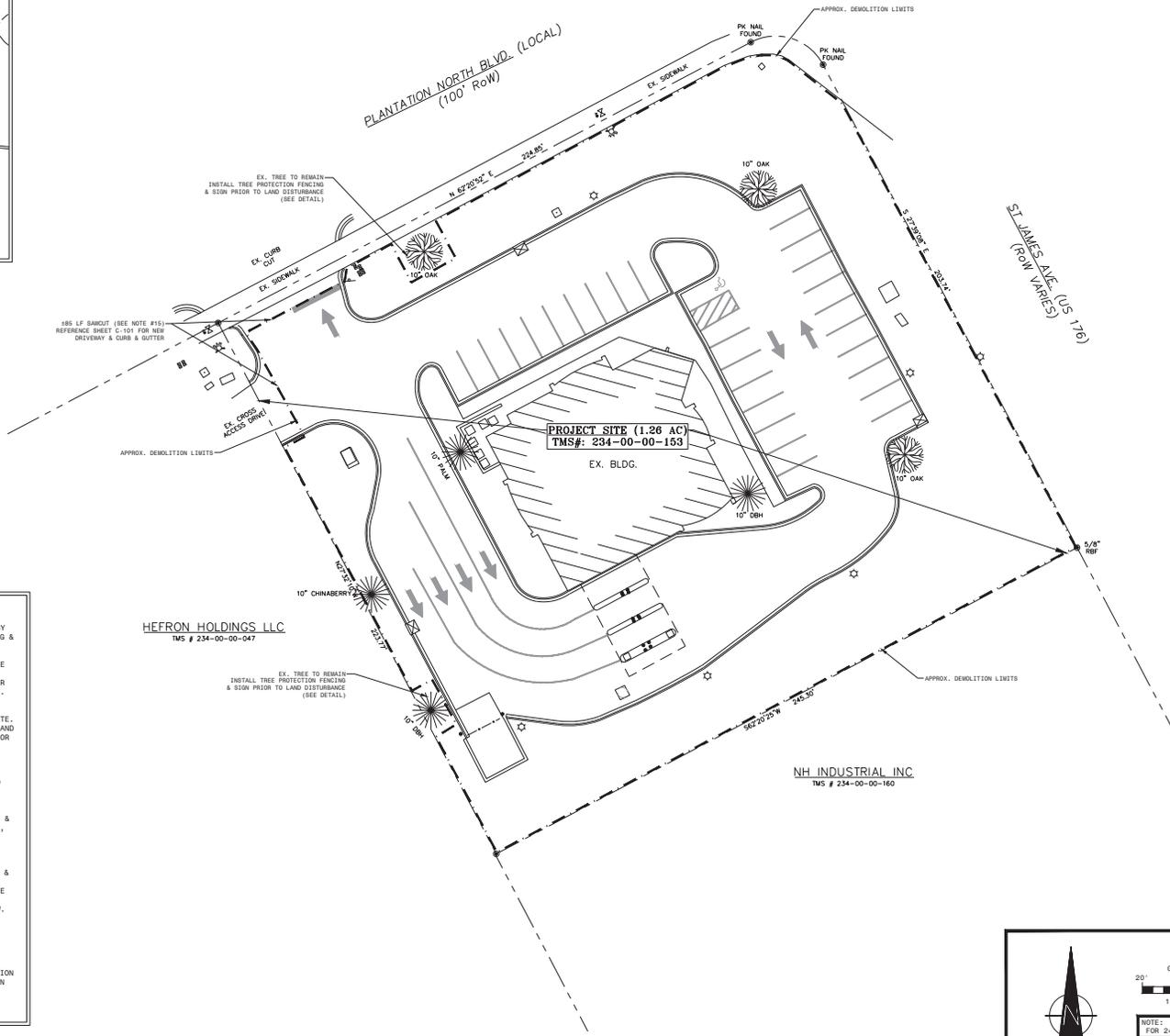
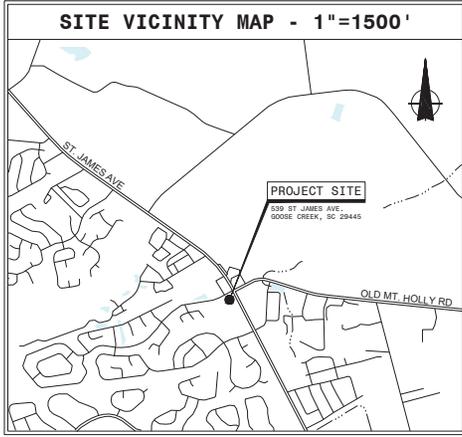
**PRELIMINARY - NOT FOR CONSTRUCTION**



NO.	REVISIONS	DATE
1	ISSUE FOR CONSTRUCTION	10/15/2021

DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

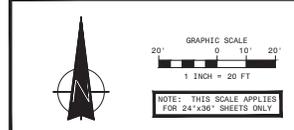
Sep 15, 2021, 10:52am/Printed By: Alton



- MAP & DEMOLITION NOTES:**
1. ALL EXISTING BOUNDARY INFORMATION PROVIDED BY PARKER LAND SURVEYING, LLC (SEALED BY RICHARD A. ALDRIDGE ON MAY 12, 2021) & TOPOGRAPHY INFORMATION PROVIDED BY SURVEYING & MAPPING, LLC (SAM) (SEALED BY DON WILLSON ON JULY 30, 2021).
  2. TRANSFER OF SITE BENCHMARK(S) IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL ONLY BE COMPLETED BY A SURVEYOR LICENSED/REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
  3. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING BENCHMARK(S) PRIOR TO ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. FIELD VERIFICATION CAN BE ACCOMPLISHED BY CHECKING A MINIMUM OF TWO FIXED OBJECTS DISPLAYED ON THE SURVEY (I.E. MANHOLE RIM, STORM GRATE, PIPE INVERTS, ETC.).
  4. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS TO BE DEMOLISHED & REMOVED FROM THE SITE. THE VERIFICATION PROCESS SHALL INCLUDE VISITING & WALKING THE SITE WITH THE OWNER AND THE ENGINEER. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  5. PRIOR TO THE COMMENCEMENT OF CLEARING, THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER & ENGINEER TO IDENTIFY TREES AND/OR VEGETATION TO REMAIN. PROTECTION OF IDENTIFIED TREES AND/OR VEGETATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  6. ALL DEMOLISHED ITEMS/MATERIALS OR ANY ITEMS THAT ARE NOT SALVAGED SHALL BE REMOVED FROM THE PROJECT SITE & DISPOSED OF IN ACCORDANCE WITH APPLICABLE CODES.
  7. THERE SHALL BE NO BURNING ON-SITE.
  8. EROSION & SEDIMENT CONTROL SERVICES MUST BE IN PLACE PRIOR TO DEMOLITION. REFER TO THE CONSTRUCTION SEQUENCE ON GENERAL NOTES SHEET C-002. FIRST, CLEARING, GRUBBING, & DEMOLITION SHALL BE LIMITED TO INSTALL PERIMETER CONTROL BIPs (INCLUDES SILT FENCE, INLET PROTECTION FOR EXISTING STRUCTURES, & CONSTRUCTION ENTRANCE(S)).
  9. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER & APPROPRIATE AGENCIES FOR PROPER REMOVAL & DISPOSAL.
  10. ANY TREES TO BE CLEARED SHALL BE REMOVED OF STUMPS AND ROOT SYSTEM ENTIRELY.
  11. IF ENCOUNTERED, WELLS & SEPTIC TANKS SHALL BE ACCURATELY LOCATED BY THE CONTRACTOR & THE SURROUNDING AREA SHALL BE BARRICADED & GRADES SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF CANNOT ENTER THE OPENING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER & OWNER IMMEDIATELY.
  12. APPLICABLE SCOT PERMITS SHALL BE OBTAINED BEFORE PERFORMING ANY WORK IN SCOT R/W.
  13. PROPOSED WORK ON ADJACENT PROPERTIES SHALL NOT TAKE PLACE PRIOR TO PERMISSION/TEMPORARY CONSTRUCTION EASEMENTS ARE OBTAINED.
  14. SIDEWALK, CURB, AND GUTTER TO BE REMOVED AND REPLACED FROM JOINT TO JOINT.
  15. CONTRACTOR TO SAW CUT, WHERE APPLICABLE, FOR SMOOTH JOINTS. JOINTS SHALL NOT BE ALIGNED WITH WHEEL PATH.
  16. THE CONTRACTOR SHALL DEMOLISH EXISTING BUILDING, CANOPIES, ACCESSORY STRUCTURES, FOUNDATIONS, ATTACHED UTILITIES, ASPHALT, & CURB & GUTTER, ETC. INSIDE THE DEMOLITION LIMITS ENTIRELY, EXCEPT WHERE SHOWN. REFERENCE SHEET C-401 FOR UTILITIES TO REMAIN FULLY OPERATIONAL.
  17. THE CONTRACTOR SHALL COORDINATE WITH THE APPLICABLE UTILITIES FOR THE REMOVAL / RELOCATION OF EXISTING UTILITIES (UNDERGROUND & OVERHEAD).

HEFRON HOLDINGS LLC  
TMS # 234-00-00-047

NH INDUSTRIAL INC  
TMS # 234-00-00-160



**PRELIMINARY - NOT FOR CONSTRUCTION**

**JACOB RICE ENGINEERING**

NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	

DESIGNED BY	DRAWN BY	CHECKED BY	DATE PLOT	JOB NO.	SCALE

**TIME TO SHINE AT ST JAMES AVE**  
CITY OF GOOSE CREEK, SC

**TIME TO SHINE CAR WASH, INC.**  
EXISTING CONDITIONS

**DRAWING NUMBER**

**C-002**

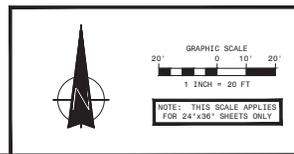
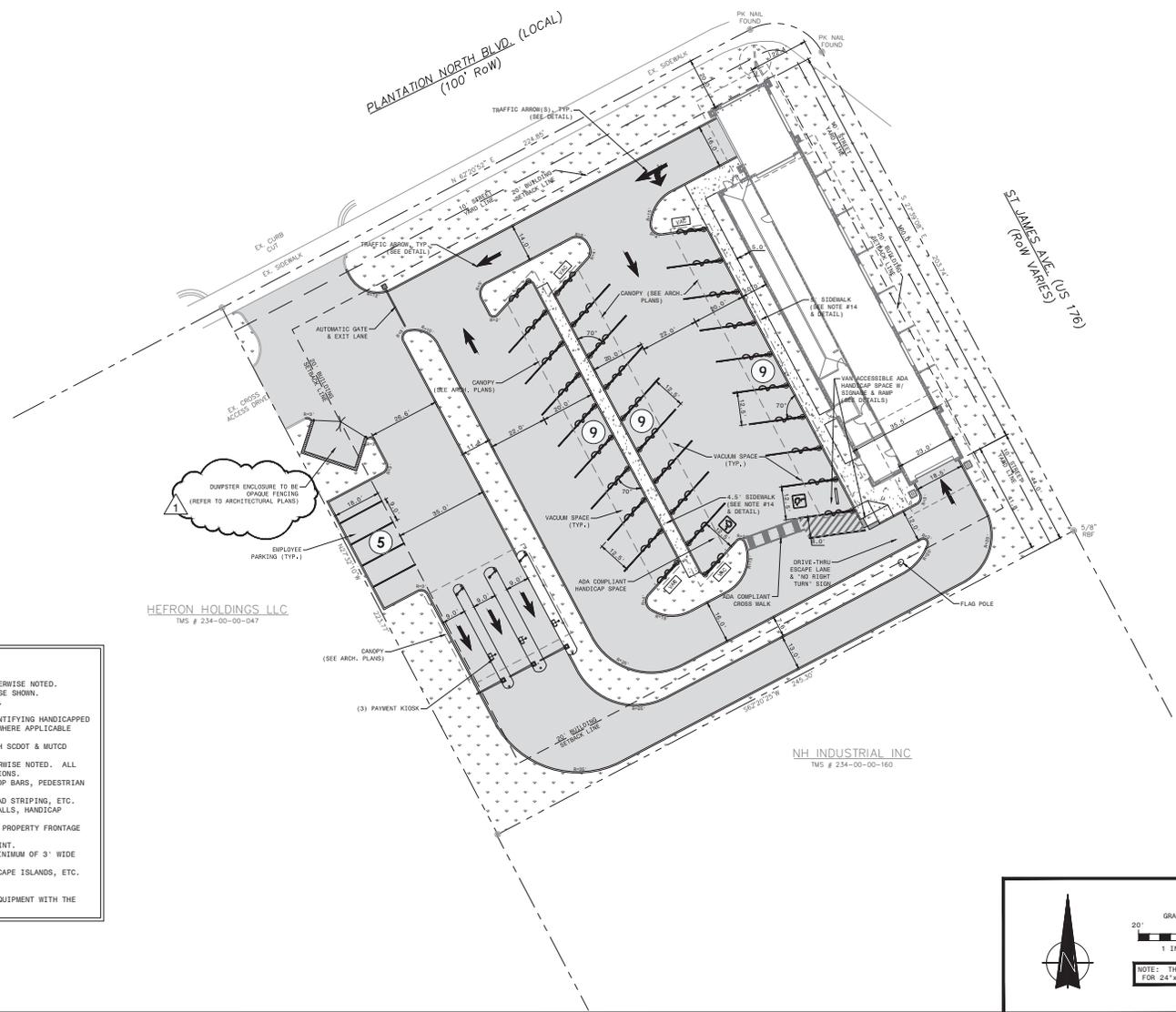
**LOT SUMMARY:**  
 ADDRESS: 539 ST JAMES AVE., GOOSE CREEK, SC 29445  
 TRF # 234-00-00-153  
 TOTAL PROJECT SITE AREA: ±1.26 ACRES  
 ZONING: GENERAL COMMERCIAL  
 - EXISTING LAND USE: VACANT COMMERCIAL  
 - PROPOSED USE: AUTOMOBILE SERVICE STATION (AUTOMATED CAR WASH)  
 LOT REQUIREMENTS:  
 - SETBACKS: FRONT - 20', REAR - 20', & SIDE - 10'  
 - BUFFER YARDS: NONE  
 - STREET YARD: 10'  
 - MAX IMPERVIOUS SURFACE RATIO: 80%  
 PROPOSED BUILDING:  
 - BUILDING AREA (GFA): ±5,200 SF  
 REQUIRED PARKING: 1 SPACE PER 250 SF  
 PROPOSED PARKING:  
 - TOTAL PROPOSED PARKING: 32 SPACES  
 (25) STANDARD VACUUM SPACE  
 (1) VAN ACCESSIBLE HANDICAP VACUUM SPACE  
 (1) STANDARD HANDICAP VACUUM SPACE  
 (5) STANDARD SPACE (EMPLOYEE PARKING)

**LEGEND**

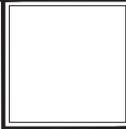
- CONCRETE PAVEMENT
- LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- CONCRETE SIDEWALK
- VACUUM MOTOR / EQUIP.
- VACUUM STATION

**SITE NOTES:**

- SEE GENERAL NOTES, SHEET C-002.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADIi MEASURED FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE SHOWN.
- ALL PROPOSED CURBS & GUTTERS TO BE 18" BARRIER TYPE UNLESS SHOWN OTHERWISE.
- ALL SIDEWALKS, STRIPING, & SIGNAGE TO BE ADA & MUTCD COMPLIANT.
- THE CONTRACTOR SHALL FURNISH & INSTALL "HANDICAP PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL AT ALL HANDICAPPED PARKING STALLS. INCLUDE VAN ACCESSIBLE SIGN, WHERE APPLICABLE (SEE DETAILS).
- THE CONTRACTOR SHALL FURNISH & INSTALL ALL SIGNS SHOWN IN ACCORDANCE WITH SCOOT & MUTCD SPECIFICATIONS.
- ALL PARKING LOT STRIPING TO BE 4" WIDE TRAFFIC MARKING PAINT UNLESS OTHERWISE NOTED. ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ITEMS TO BE PAINTED WHITE INCLUDE BUT NOT LIMITED TO: TRAFFIC ARROWS, STOP BARS, PEDESTRIAN CROSSINGS, NON ADA KISLES, & NON ADA PARKING STALLS.
- ITEMS TO BE PAINTED YELLOW INCLUDE BUT NOT LIMITED TO: DOUBLE YELLOW, ROAD STRIPING, ETC.
- ITEMS TO BE PAINTED BLUE INCLUDE BUT NOT LIMITED TO: HANDICAP PARKING STALLS, HANDICAP SYMBOLS, HANDICAP ACCESS AISLES, & ADA CROSSING AREAS.
- CONTRACTOR TO REMOVE AND REPLACE DAMAGED SIDEWALK OR CURB & GUTTER ALONG PROPERTY FRONTAGE AS NECESSARY.
- SIDEWALK AND CURB AND GUTTER TO BE REMOVED AND REPLACED FROM JOINT TO JOINT.
- IN PRESENCE OF SIDEWALK OR OTHER ADA PATHWAYS, ACCESS(ES) TO PROVIDE A MINIMUM OF 3' WIDE PEDESTRIAN PATH OF NO GREATER CROSS SLOPE THAN 2%.
- REFER TO THE LANDSCAPE PLAN FOR PROPOSED PLANTINGS IN BUFFERYARDS, LANDSCAPE ISLANDS, ETC.
- CONTRACTOR TO COORDINATE LOCATION OF BOLLARDS WITH THE OWNER/DEVELOPER.
- CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING.
- CONTRACTOR TO REFER TO OWNER'S EQUIPMENT PLAN & COORDINATE LOCATION OF EQUIPMENT WITH THE OWNER/DEVELOPER.



**PRELIMINARY - NOT FOR CONSTRUCTION**



JACOB RICE ENGINEERING

803.760.3427  
 71 CALLENGER CT  
 COLUMBIA, SC 29906

NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	10/15/21

DATE	BY	DESCRIPTION

DESIGNED BY: JACOB RICE  
 DRAWN BY: JACOB RICE  
 CHECKED BY: JACOB RICE  
 DATE: 10/15/21  
 JOB NO: 24000  
 SCALE: 1"=30'

**TIME TO SHINE AT ST JAMES AVE**  
 CITY OF GOOSE CREEK, SC  
 IN  
**TIME TO SHINE CAR WASH, INC.**

**SITE PLAN**

DRAWING NUMBER  
**C-101**

Sep 15, 2021, 10:11am Printed By: Alton

D:\Jacob Rice\Time to Shine at Goose Creek\Plan Set\Site Plan Aerials for ARB 3.15.21.dwg

**LOT SUMMARY:**  
 ADDRESS: 539 ST JAMES AVE., GOOSE CREEK, SC 29445  
 TRACT #: 204-00-00-153  
 TOTAL PROJECT SITE AREA: ±1.26 ACRES

**ZONING:** GENERAL COMMERCIAL  
 - EXISTING LAND USE: VACANT COMMERCIAL  
 - PROPOSED USE: AUTOMOBILE SERVICE STATION (AUTOMATED CAR WASH)

**LOT REQUIREMENTS:**  
 - SETBACKS: FRONT - 20', REAR - 20', & SIDE - 10'  
 - BUFFER YARDS: NONE  
 - STREET YARD: 10'  
 - MAX IMPERVIOUS SURFACE RATIO: 80%

**PROPOSED BUILDING:**  
 - BUILDING AREA (GFA): ±5,200 SF

**REQUIRED PARKING:** 1 SPACE PER 250 SF

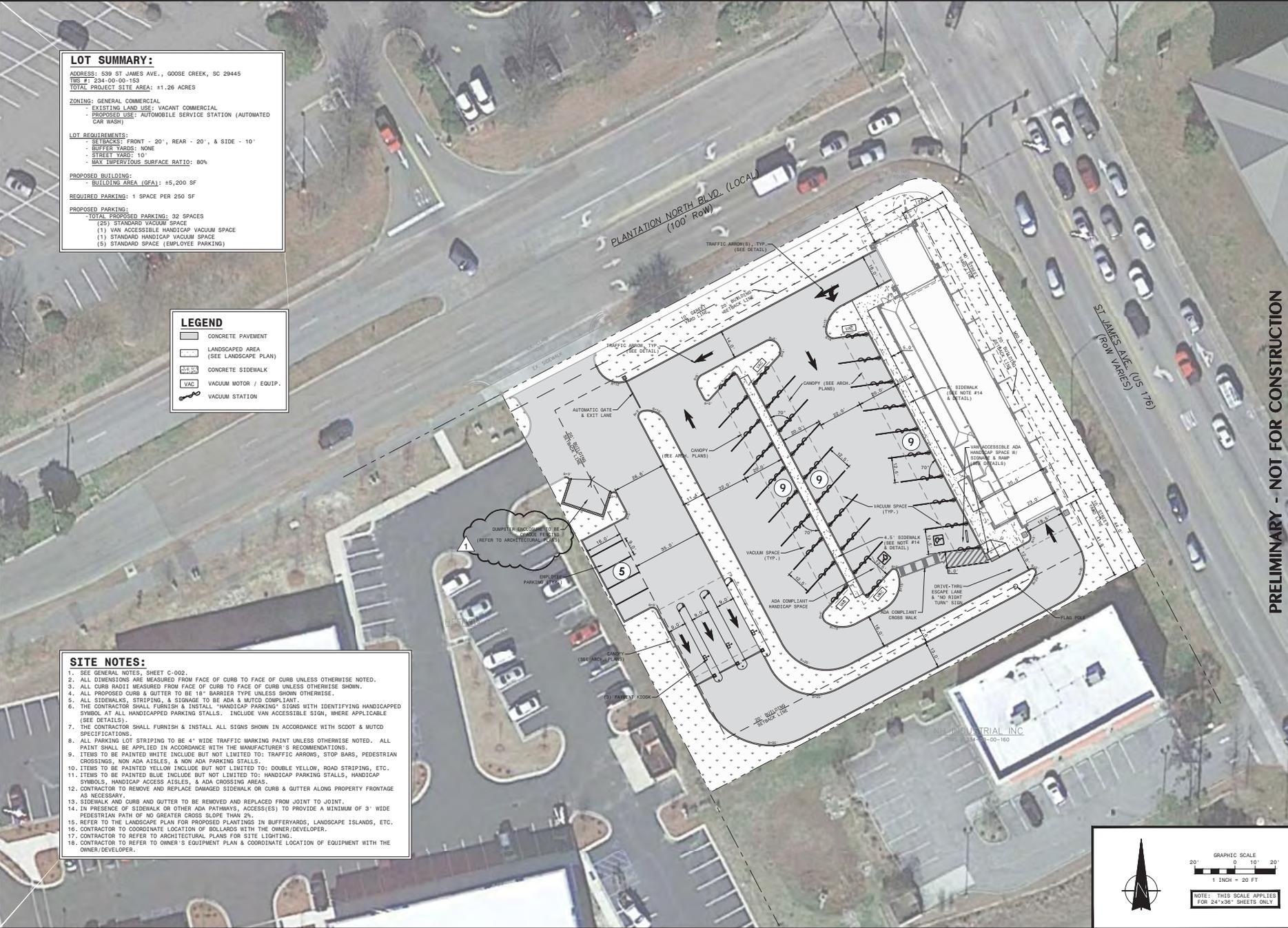
**PROPOSED PARKING:**  
 - TOTAL PROPOSED PARKING: 32 SPACES  
 (25) STANDARD VACUUM SPACE  
 (1) VAN ACCESSIBLE HANDICAP VACUUM SPACE  
 (1) STANDARD HANDICAP VACUUM SPACE  
 (5) STANDARD SPACE (EMPLOYEE PARKING)

**LEGEND**

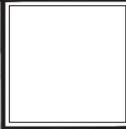
- CONCRETE PAVEMENT
- LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- CONCRETE SIDEWALK
- VACUUM MOTOR / EQUIP.
- VACUUM STATION

**SITE NOTES:**

- SEE GENERAL NOTES, SHEET C-002.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADIUS MEASURED FROM FACE OF CURB UNLESS OTHERWISE SHOWN.
- ALL PROPOSED CURBS & GUTTERS TO BE 18" BARRIER TYPE UNLESS SHOWN OTHERWISE.
- ALL SIDEWALKS, STRIPING, & SIGNAGE TO BE ADA & MUTCD COMPLIANT.
- THE CONTRACTOR SHALL FURNISH & INSTALL "HANDICAP PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL AT ALL HANDICAPPED PARKING STALLS. INCLUDE VAN ACCESSIBLE SIGN, WHERE APPLICABLE (SEE DETAILS).
- THE CONTRACTOR SHALL FURNISH & INSTALL ALL SIGNS SHOWN IN ACCORDANCE WITH SCOT & MUTCD SPECIFICATIONS.
- ALL PARKING LOT STRIPING TO BE 4" WIDE TRAFFIC MARKING PAINT UNLESS OTHERWISE NOTED. ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ITEMS TO BE PAINTED WHITE INCLUDE BUT NOT LIMITED TO: TRAFFIC ARROWS, STOP BARS, PEDESTRIAN CROSSINGS, NON ADA KISLES, & NON ADA PARKING STALLS.
- ITEMS TO BE PAINTED YELLOW INCLUDE BUT NOT LIMITED TO: DOUBLE YELLOW, ROAD STRIPING, ETC.
- ITEMS TO BE PAINTED BLUE INCLUDE BUT NOT LIMITED TO: HANDICAP PARKING STALLS, HANDICAP SYMBOLS, HANDICAP ACCESS ISLES, & ADA CROSSING AREAS.
- CONTRACTOR TO REMOVE AND REPLACE DAMAGED SIDEWALK OR CURB & GUTTER ALONG PROPERTY FRONTAGE AS NECESSARY.
- SIDEWALK AND CURB AND GUTTER TO BE REMOVED AND REPLACED FROM JOINT TO JOINT.
- IN PRESENCE OF SIDEWALK OR OTHER ADA PATHWAYS, ACCESS(ES) TO PROVIDE A MINIMUM OF 3' WIDE PEDESTRIAN PATH OF NO GREATER CROSS SLOPE THAN 2%.
- REFER TO THE LANDSCAPE PLAN FOR PROPOSED PLANTINGS IN BUFFERYARDS, LANDSCAPE ISLANDS, ETC.
- CONTRACTOR TO COORDINATE LOCATION OF BOLLARDS WITH THE OWNER/DEVELOPER.
- CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING.
- CONTRACTOR TO REFER TO OWNER'S EQUIPMENT PLAN & COORDINATE LOCATION OF EQUIPMENT WITH THE OWNER/DEVELOPER.



**PRELIMINARY - NOT FOR CONSTRUCTION**



**JACOB RICE ENGINEERING**

803.760.3427  
 5 CALLENGER CT  
 COLUMBIA, SC 29906

NO.	REVISIONS	DATE
1	ISSUE FOR PERMITS	07/20/21
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
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16	REVISIONS	
17	REVISIONS	
18	REVISIONS	
19	REVISIONS	
20	REVISIONS	

OWNER: AL  
 DRAWING NO: 2021-001  
 DATE: 07/20/21  
 JOB NO: 2021001  
 SCALE: 1"=20'

**TIME TO SHINE AT ST JAMES AVE**  
 CITY OF GOOSE CREEK, SC  
**TIME TO SHINE CAR WASH, INC.**  
 SITE PLAN W/ AERIAL OVERLAY

DRAWING NUMBER  
**C-102**

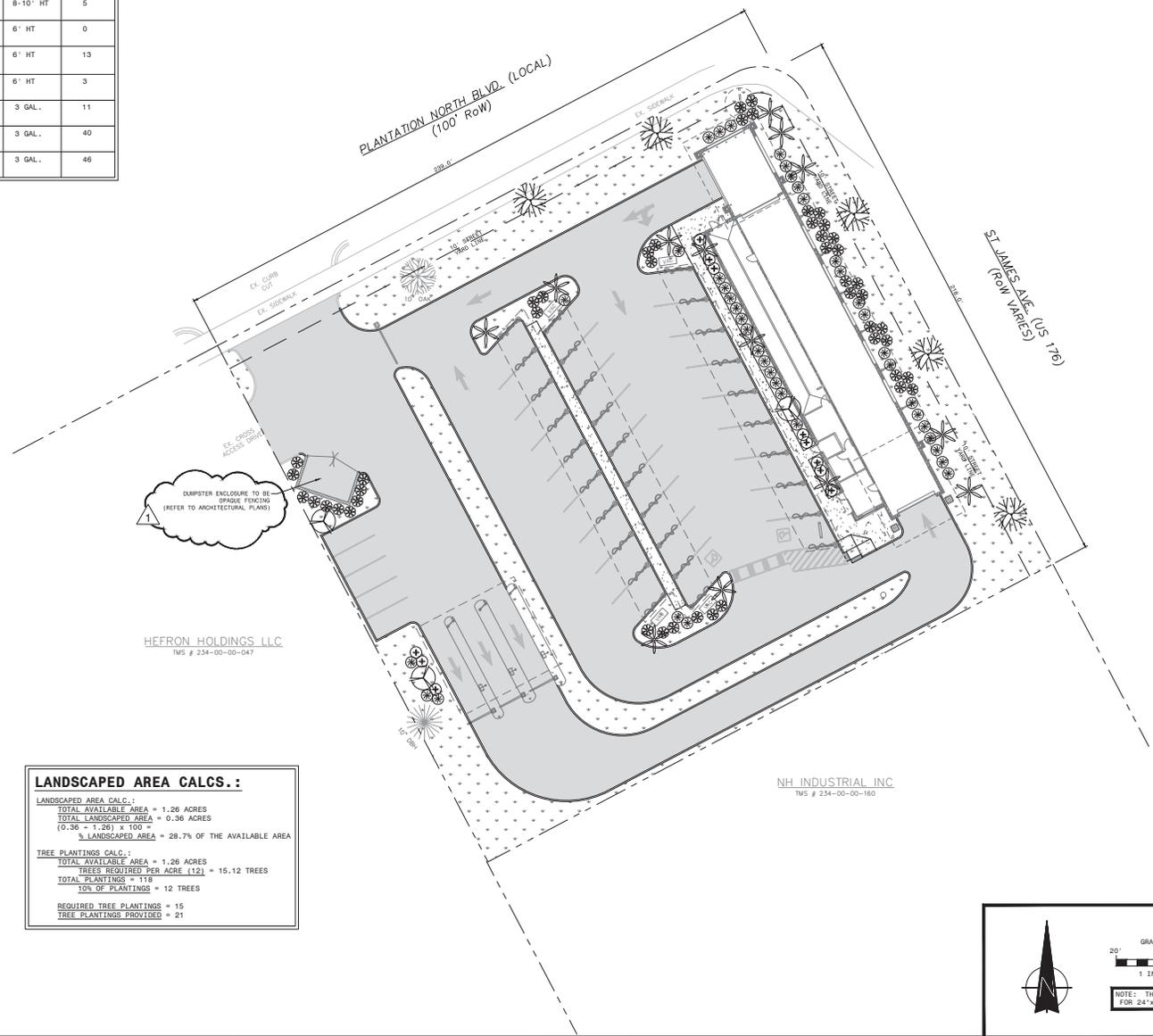
PLANT SCHEDULE				
SYMBOL	BOTANICAL NAME	CAL	SIZE	QTY
	QUERCUS VIRGINIANA (LIVE OAK) OR APPROVED EQUAL	2.5"	8-10' HT	5
	ILEX OPACA (AMERICAN HOLLY) OR APPROVED EQUAL	1"	6' HT	0
	SABAL PALMETTO (SABAL PALM) OR APPROVED EQUAL	1.5"	6' HT	13
	MAGNOLIA GRANDIFLORA (LITTLE GEM MAGNOLIA) OR APPROVED EQUAL	1.5"	6' HT	3
	RAPIHOLEPTIS INDICA (INDIAN HAWTHORNE) OR APPROVED EQUAL		3 GAL.	11
	PODOCARPUS (PODOCARPUS) OR APPROVED EQUAL		3 GAL.	40
	LIGUSTRUM LUCIDUM (WAXLEAF LIGUSTRUM) OR APPROVED EQUAL		3 GAL.	46

LEGEND	
	CONCRETE PAVEMENT
	SOD / LANDSCAPED AREA
	CONCRETE SIDEWALK
	VACUUM MOTOR / EQUIP.
	VACUUM STATION

LANDSCAPE REQUIREMENTS	
	REQUIRED
<b>STREET YARD REQUIREMENTS</b>	
STREET FRONTAGE TREES	2 CANOPY TREES OF A MINIMUM OF 2.5" CALIPER (8-10' HT.) REQUIRED FOR EACH 100 LF OF STREET FRONTAGE.
<b>BUFFER YARD REQUIREMENTS</b>	
BUFFER YARD PLANTINGS	NONE REQUIRED (ADJACENT USE (S) IS COMMERCIAL / GC)
<b>OTHER REQUIREMENTS</b>	
LANDSCAPE AREA SHALL BE 12% OF THE TOTAL AVAILABLE AREA.	
10% OF PLANTINGS SHALL BE TREES OR 12 TREES PER ACRE, WHICHEVER IS GREATER.	
LANDSCAPED ISLANDS SHALL BE PROVIDED FOR EVERY 10 SPACES. 1 CANOPY & 2 SHRUBS SHALL BE PLANTED IN ISLANDS.	
SHRUBS MATURING TO 2' MIN. HEIGHT SHALL BE PLANTED AT 5' ON CENTER FOR THE ENTIRE LENGTH OF PROPOSED BUILDING FACADE FACING THE ROW.	

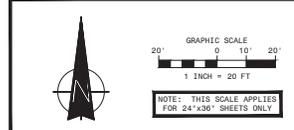
- LANDSCAPE NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR HIS OR HER OWN QUANTITIES. IF THERE IS A CONFLICT BETWEEN QUANTITIES AND SPACING, SPACING SHALL PREVAIL.
  - ALL TREES AND SHRUBS SHALL BE MULCHED (2-3" IN DEPTH) WITHIN TWO DAYS AFTER PLANTING. MULCH SHALL COVER THE AREA OF THE PLANTING PIT, BED, OR SAUCER, AROUND EACH PLANT.
  - ANY AREA DISTURBED DURING CONSTRUCTION NOT COVERED BY NEW CONSTRUCTION, SODDING, AND/OR PLANT BEDS SHALL BE PERMANENTLY GRASSED, AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
  - ALL PLANTS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - ALL PLANTINGS SHALL IN BE ACCORDANCE WITH THE LATEST CITY OF GOOSE CREEK LANDSCAPE ORDINANCES.

LANDSCAPED AREA CALCS.:	
<b>LANDSCAPED AREA CALC.:</b>	
TOTAL AVAILABLE AREA	= 1.26 ACRES
TOTAL LANDSCAPED AREA	= 0.36 ACRES
$(0.36 \div 1.26) \times 100 =$	% LANDSCAPED AREA = 28.7% OF THE AVAILABLE AREA
<b>TREE PLANTINGS CALC.:</b>	
TOTAL AVAILABLE AREA	= 1.26 ACRES
TREES REQUIRED PER ACRE (12) *	15.12 TREES
TOTAL PLANTINGS = 118	
10% OF PLANTINGS = 12 TREES	
REQUIRED TREE PLANTINGS = 15	
TREE PLANTINGS PROVIDED = 21	



PRELIMINARY - NOT FOR CONSTRUCTION

<b>JACOB RICE ENGINEERING</b>	
803.760.3437 51 CALLENDERE CT. COLUMBIA, SC 29906	
<b>REVISIONS</b>	<b>DATE</b>
NO. DESCRIPTION	DATE
1. INITIAL LAYOUT FOR REVIEW	07/15/21
2. FACEDRIVE, 2. PALM TREES FOR AVE	
3. COMMENTS: 08/17/21	
DESIGNED BY: JRM	CHECKED BY: JRM
DRAWN BY: JRM	DATE PLOT: 09/15/21
PROJECT NO: 240000	SCALE: 1"=30'
<b>TIME TO SHINE AT ST JAMES AVE.</b> CITY OF GOOSE CREEK, SC IN <b>TIME TO SHINE CAR WASH, INC.</b> LANDSCAPE PLAN	
<b>DRAWING NUMBER</b>	
<b>C-103</b>	







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 REVIEW BOARD  
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 08/15/21

TIME TO SHINE  
 CARWASH

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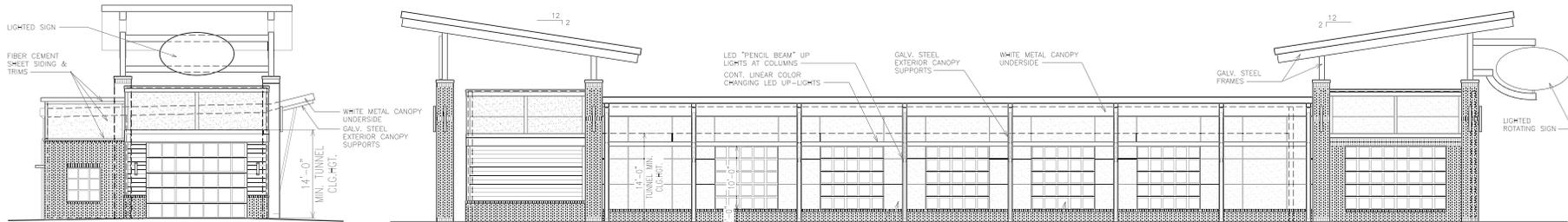
EXTERIOR  
 ELEVATIONS  
 PRELIMINARY

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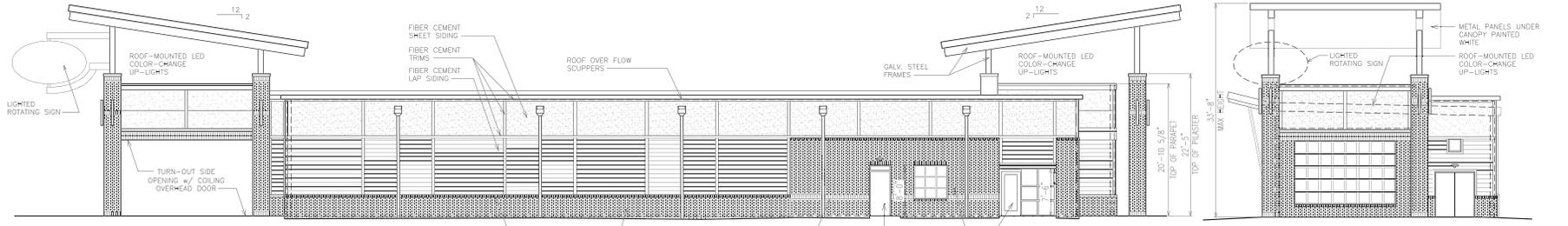
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A-2



**B1** EAST (ENTRANCE) ELEV.  
 1/8" = 1'-0"

**B2** NORTH (TUNNEL) ELEVATION  
 1/8" = 1'-0"



**A1** SOUTH (OFFICE) ELEVATION  
 1/8" = 1'-0"



**A5** WEST (EXIT) ELEVATION  
 1/8" = 1'-0"



- EXTERIOR FINISHES SCHEDULE:**
1. FIBER CEMENT SHEET SIDING; COLOR MATCH SHEFFIELD METALS "DOVE GRAY".
  2. FIBER CEMENT; COLOR MATCH SHEFFIELD METALS "SLATE GRAY".
  - 2.1. 8" LAP SIDING
  - 2.2. SHEET SIDING
  3. BRICK:
    - 3.1. BORAL BRICKS "CAGLES MILL" QUEEN
    - 3.2. MORTAR: "MOLDIM "ATLANTA RED"
  4. FIBER CEMENT TRIMS: MATCH SHEFFIELD METALS "CHARCOAL GRAY"
  5. FLASHING AND HIGH FIBER CEMENT TRIMS: EQUAL TO SHEFFIELD METALS "DOVE GRAY"
  6. WINDOWS & STOREFRONT:
    - 6.1. ALUMINUM FRAMES: CLEAR ANODIZED
    - 6.2. GLAZING: LIGHT GRAY TINT
    - 6.3. SEE SPECIFICATIONS FOR WIND RESISTANCE CRITERIA
  7. SEGMENTED ROLL-UP DOORS:
    - 7.1. COLOR: MATCH ALUMINUM FRAMES
    - 7.2. GLAZING: DARK GRAY TINT (MATCH WINDOWS)
    - 7.3. SEE SPECIFICATIONS FOR WIND RESISTANCE CRITERIA
  8. STEEL CANOPY: WHITE
  9. EXPOSED STRUCTURAL STEEL: HOT DIP GALVANIZED (SEE SHEET G-101, SECTION 05 12 00, 3.4)
  10. ROOFING: GRAY ASHERED MEMBRANE
  11. PRE-CAST CONCRETE: LIGHT GRAY
  12. HOLLOW METAL DOORS AND FRAMES: PAINTED TO MATCH "CHARCOAL GRAY"
  13. PRE-FINISHED METAL CANOPIES: MATCH OLDCASTLE "CHARCOAL GRAY" 397232
  14. PRE-FINISHED METAL ROOF, COLOR TO MATCH SHEFFIELD "SLATE GRAY"
  15. COPING: SHEFFIELD METALS "CHARCOAL GRAY"
  16. SCUPPERS AND DOWNSPOUTS: SHEFFIELD METALS "CHARCOAL GRAY"



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**EXTERIOR  
ELEVATIONS  
COLORS &  
MATERIALS  
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A-3.1



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EXTERIOR  
 SITE ELEVATIONS  
 COLOR  
 PRELIMINARY

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A-3.2



C1 ST. JAMES AVENUE SITE ELEVATION  
 NO SCALE



B1 PLANTATION NORTH BLVD. ELEVATION  
 NO SCALE



A1 SITE ELEVATION FROM PROPERTY TO THE SOUTH  
 NO SCALE

E  
D  
C  
B  
A



**A1** VIEW FROM PLANTATION NORTH BLVD.  
NO SCALE



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COLOR  
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**A-3.3**

E  
D  
C  
B  
A



**A1** VIEW FROM PROPERTY TO THE SOUTH  
NO SCALE

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**A-3.4**

E  
D  
C  
B  
A



**A1** VIEW FROM ST. JAMES BLVD. LOOKING NORTH  
NO SCALE

1 2 3 4 5 6



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**A-3.5**

