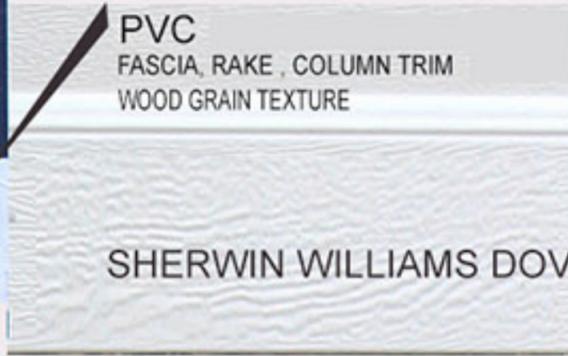


EXTERIOR TRIM SHALL BE HARDI PLANK OR

PVC  
FASCIA, RAKE, COLUMN TRIM  
WOOD GRAIN TEXTURE

<https://www.royalbuildingproducts.com/products/exterior-trim-moulding>



SHERWIN WILLIAMS DOVER WHITE 6385 (LOXON XT )

LIFETIME ARCHITECTURAL ROOF SHINGLES COLOR; CHARCOAL BLACK ATLAS OR GAF CAP SHINGLES OVER RIDGE VENT

MORTAR SHALL BE ARGOS NATURAL GREY TYP S

MAIN BUILDING BRICK, MERIDIAN BRICK.COM  
SCARLET OAK BLEND, QUEEN SIZE



ACCENT BRICK ( BELT COURSE , QOINS , HEADERS )

**116 SPRNGHALL DRIVE  
GOOSE CREEK SC 29445**

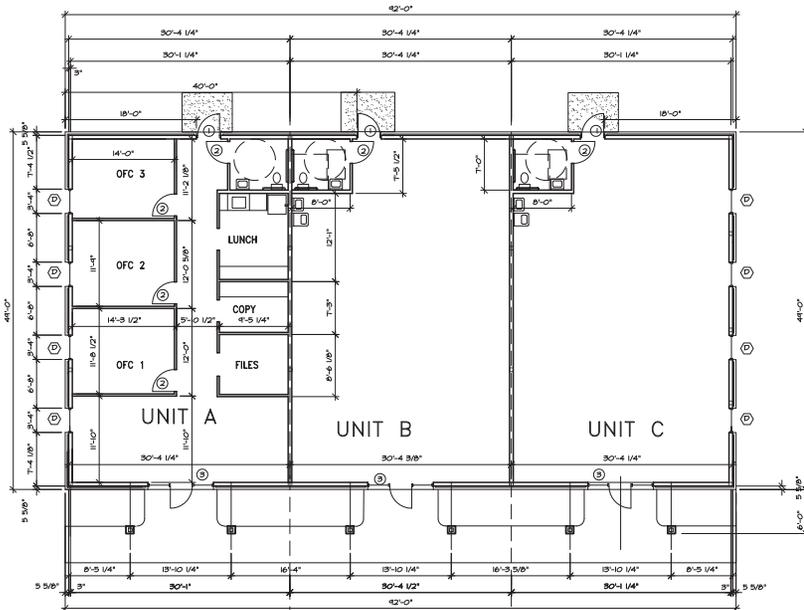
Ronald J. Denton, Jr., RA, NCARB  
**RJDenton ARCHITECTURE**  
806 Johnnie Dodds Boulevard Suite 203  
Mt. Pleasant, South Carolina 29464  
p: 843.856.8395







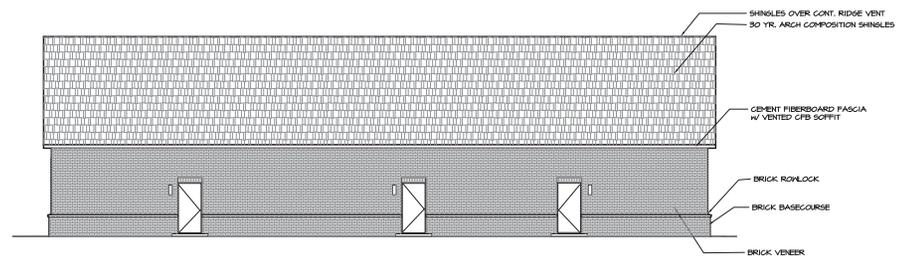




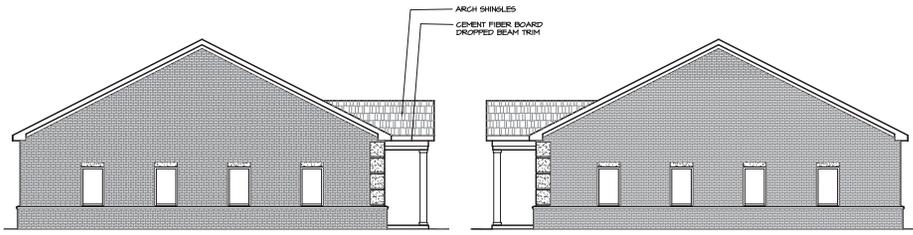
**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

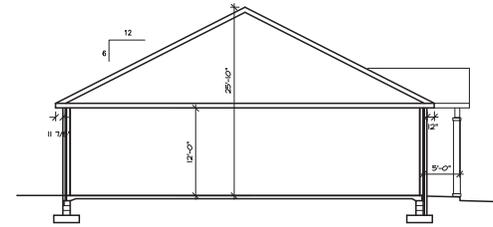


**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

**RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

REVISIONS	NO.	DATE



**R. Denton ARCHITECTURE**  
806 Johnnie Dodds Blvd.,  
Suite 203  
Mt. Pleasant, SC 29464  
**(843) 856-8395**



**OFFICE BUILDING**  
116 SPRING HILL ROAD  
GOOSE CREEK, SOUTH CAROLINA  
**FLOOR PLAN, ELEVATIONS**

**COPYRIGHT 2020**  
This drawing is the property of R. Denton ARCHITECTURE. Unauthorized use of any kind, including use on other projects, is prohibited.

**DATE:** 8/12/20  
**PROJECT NO.:**

**DESIGN:** MPE  
**DRAWN:** RJD  
**CHECKED:** RJD



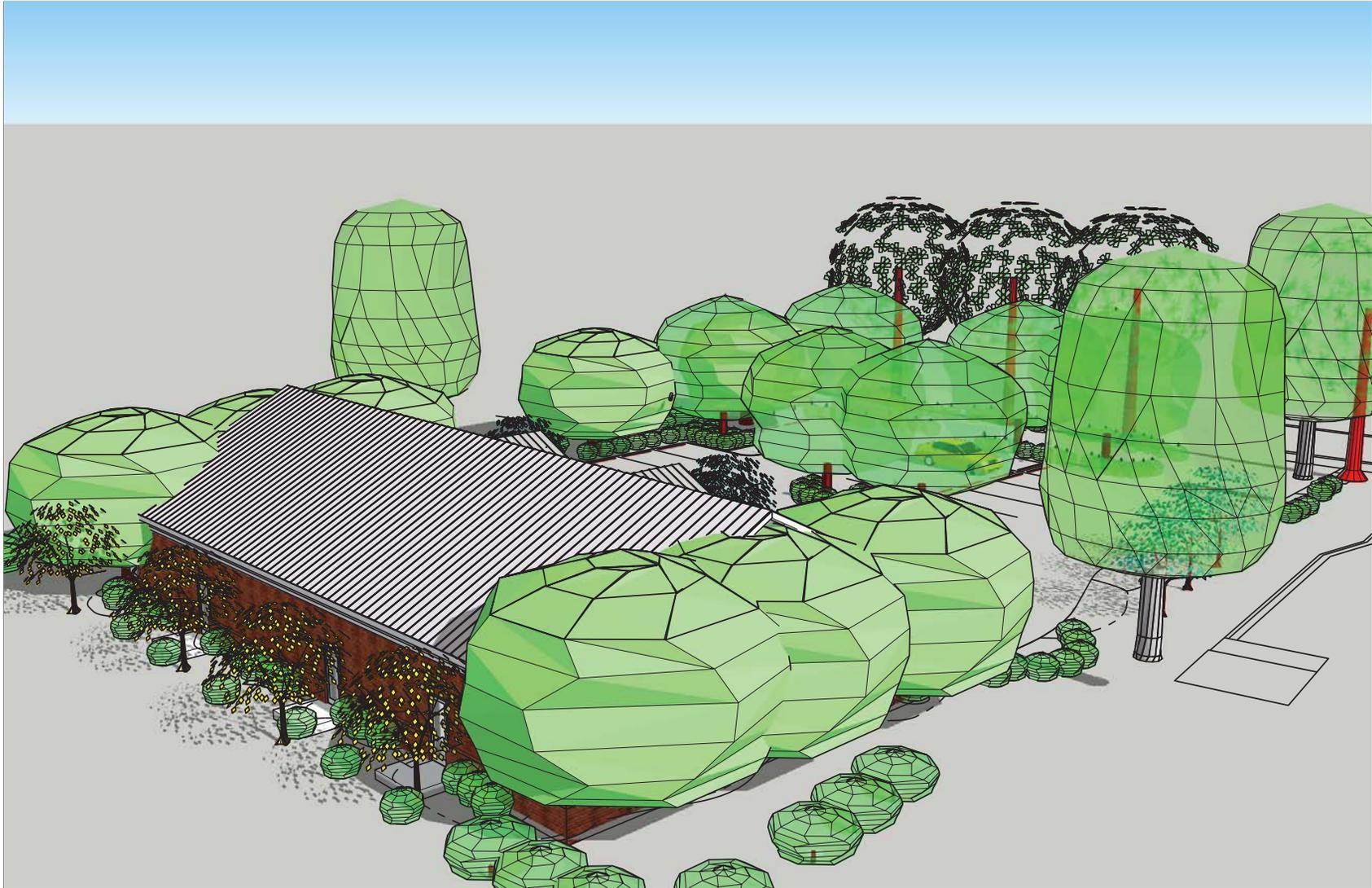
*Front Entrance*





*Bird's Eye to North*





*Bird's Eye to East*





*Rear Perspective*



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MAJOR APPLICATION: NEW BUSINESS

**Office Building**

503 N Goose Creek Blvd

**Site Plan, Landscape, Parking, Elevation**

---



# Architectural Review Board

## APPLICATION / INFORMATION SUMMARY

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118

<b>Property Address:</b>		<b>TMS No.:</b> 234-00-00-019
<b>Review request:</b>	<b>For:</b>	<b>Preliminary meeting date requested:</b>
<input type="checkbox"/> Conceptual	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input type="checkbox"/> Preliminary <input type="checkbox"/> Final	<input type="checkbox"/> Repairs or repaint with no changes	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition

Property Owner: Queensborough Holdings, LLC	Daytime phone:
Applicant: Shook Associates	Daytime phone: [REDACTED]
ARB Meeting Representative: David Shook, AIA:	Contact Information: [REDACTED]
Applicant's mailing address: [REDACTED]	
City: [REDACTED]	State: [REDACTED] Zip: [REDACTED]
Applicant's e-mail address:	
Applicant's relationship: <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

**Materials/Colors Used:** (specific color(s)/manufacture #'s listed: samples must be presented to Board  attached)  
 (Example: Building Materials, Exterior Colors, Landscaping, Lighting)

Exterior Walls – combination of brick, pre-cast concrete and Hardi composite siding.  
 Glass – Aluminum frames with tinted glass  
 Roofing and fascia – metal standing seam metal roofing with metal fascia and soffit.

**Scope of Work:** (please give a detailed description)

Development of a new professional office building along with associated parking, utilities and landscaping.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature: David Lee Shook

Date: 6.23.2020

Print name legibly: David Lee Shook, AIA

# OFFICES OF WEEKS & IRVINE 503 N. GOOSE CREEK BOULEVARD GOOSE CREEK, SC

**SHOOK  
ASSOCIATES,  
ARCHITECTS**

ARCHITECTURE  
INTERIOR ARCHITECTURE  
LAND PLANNING

P.O. BOX 20489  
CHARLESTON, S.C. 29413  
843/216-1727, FAX 843/216-2019

OFFICES OF WEEKS & IRVINE  
503 N. GOOSE CREEK BOULEVARD  
GOOSE CREEK, SC

PRELIMINARY  
ARB SUBMITTAL  
REVISED

REVISION	NO.

JOB NO.: 40937  
DATE: 09-03-2020  
REF: 40937

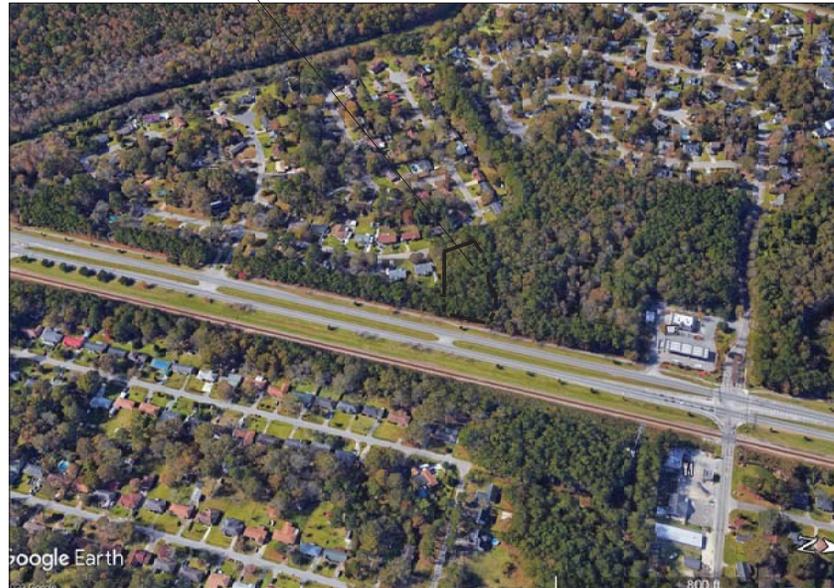
**LOCATION MAP**  
SITE



**ZONING MAP**



**PROPERTY**



**SITE**  
503 N. GOOSE CREEK BOULEVARD

**SCOPE OF WORK**

1. GRADING AND UTILITIES CONSTRUCTION; CONSTRUCTION OF A NEW PROFESSIONAL OFFICE BUILDING, LANDSCAPING AND PAVING.

**PROJECT CONTACTS**

OWNER REPRESENTATIVE : ROBER L. IRVINE, III; IRVINE & WEEKS LAW FIRM  
ARCHITECT: SHOOK ASSOCIATES  
P.O. BOX 20489  
CHARLESTON, SC 29413  
PHONE: 843-216-1727  
E-MAIL: SHOOKASSOC@COMCAST.NET  
CONTACT PERSON: DAWD SHOOK

**ZONING INFORMATION**

ZONING JURISDICTION: THE CITY OF GOOSE CREEK, SC  
PARCEL ZONING: BPO  
BUILDING SETBACKS: -  
TAX MAP SERIES NUMBER(S): 234-00-00-019

**PARKING INFORMATION**

BUILDING AREA = 7,800 SF  
BUILDING USE - BUSINESS/OFFICE  
CITY PARKING REQUIREMENT = 1 SPACE PER 300 SF  
TOTAL REQUIRED = 26  
PROVIDED STANDARD SPACES = 49  
PROVIDED I.L.C. ACCESSIBLE SPACES = 3  
TOTAL PROVIDED PARKING SPACES = 52  
NOTE: THE BUILDING HAS A HIGH OCCUPANCY NUMBER SIMILAR TO A CALL CENTER AND REQUIRES MORE THAN THE MINIMUM REQUIRED SPACES



THE  
 TOMBLIN COMPANY, LLC  
 LANDSCAPE ARCHITECTURE  
 LAND PLANNING  
 HISTORIC RENOVATION  
 AMERICAN SOCIETY  
 LANDSCAPE ARCHITECTS  
 716 FORT SUMNER DRIVE  
 CHARLESTON  
 SOUTH CAROLINA  
 1.843.412.2944  
 FAX 1.843.466.2721  
 tomblincompany.com

LANDSCAPE ARCHITECTURAL SERVICES  
 FOR  
**WEEKS & IRVINE**  
 CAROL DRIVE & US 52 - 1056224-000-003 & 004  
 GREENSBORO/ROCK HILL, SOUTH CAROLINA  
 GOOSE CREEK

JOB NUMBER  
**020760**

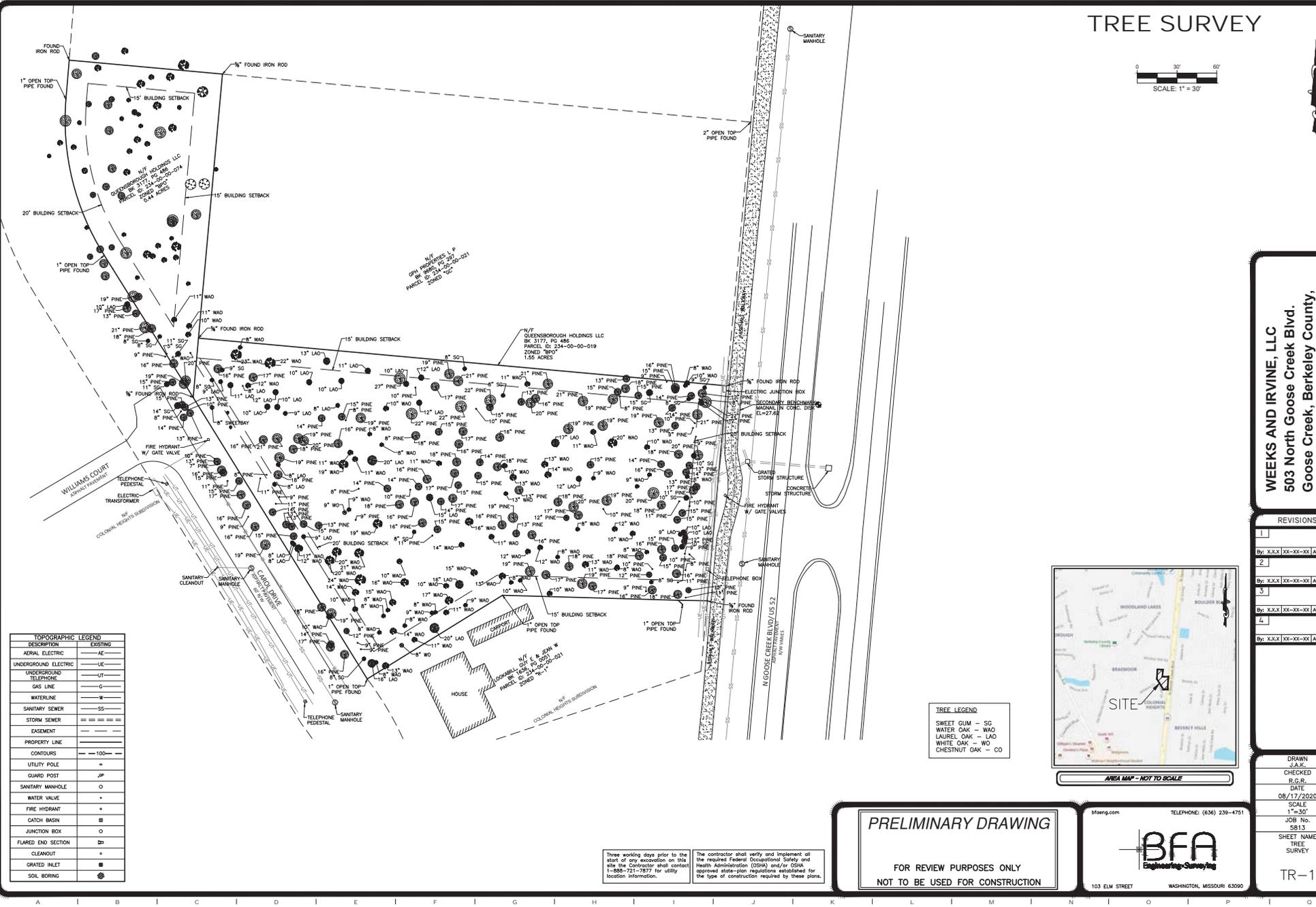
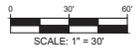
DWT	/	DHT	/	DATE
				08.20
REVISION		CHECKED BY		DATE

SHEET TITLE  
 ILLUSTRATIVE  
 PLAN

SHEET NUMBER  
**L101** OF 1  
 1 OF 1

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# TREE SURVEY



TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	— AC —
UNDERGROUND ELECTRIC	— UC —
UNDERGROUND TELEPHONE	— UT —
GAS LINE	— C —
WATERLINE	— W —
SANITARY SEWER	— SS —
STORM SEWER	— SSS —
EASEMENT	— — — —
PROPERTY LINE	— — — —
CONTOURS	— 100 —
UTILITY POLE	•
GUARD POST	⊕
SANITARY MANHOLE	○
WATER VALVE	+
FIRE HYDRANT	•
CATCH BASIN	⊞
JUNCTION BOX	○
FLARED END SECTION	⊞
CLEANOUT	•
GRADED INLET	•
SOIL BORING	⊙

TREE LEGEND	
SWEET GUM	— SG
WATER OAK	— WAO
LAUREL OAK	— LAO
WHITE OAK	— WO
CHESTNUT OAK	— CO



**WEEKS AND IRVINE, LLC**  
 503 North Goose Creek Blvd.  
 Goose Creek, Berkeley County,  
 South Carolina 29445

REVISIONS	
1	By: XXXX XX-XX-XX App. XXXX
2	By: XXXX XX-XX-XX App. XXXX
3	By: XXXX XX-XX-XX App. XXXX
4	By: XXXX XX-XX-XX App. XXXX

DRAWN	JAK
CHECKED	R.G.R.
DATE	08/17/2020
SCALE	1"=30'
JOB No.	5813
SHEET NAME	TREE SURVEY
	TR-1

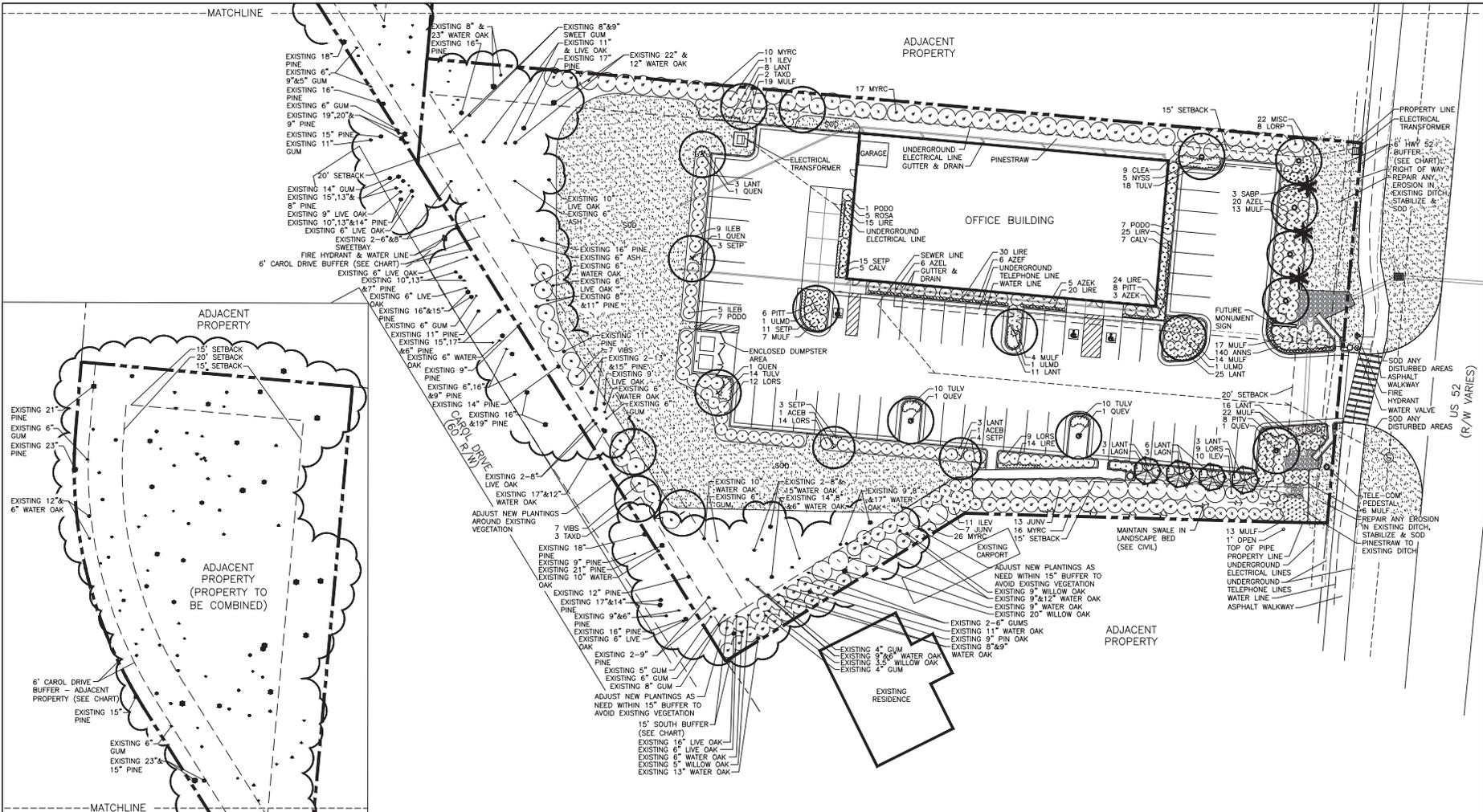
**PRELIMINARY DRAWING**  
 FOR REVIEW PURPOSES ONLY  
 NOT TO BE USED FOR CONSTRUCTION

bfoeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

These working days prior to the start of any excavation on this site the Contractor shall contact 1-888-751-7877 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or PSHA approved site-orientation regulations established for the type of construction required by these plans.



**TREE PROTECTION TABLE**

TOTAL DBH OF 8" & ABOVE TREES PROPOSED TO BE REMOVED FROM SITE EXCLUDING GUMS & PINES (SEE CIVIL PLANS FOR TREE REMOVALS) = 548' (SEE TREE INSPECTION PLAN & REPORT FOR REQUESTED REMOVAL OF 253' DAMAGED/DISEASED/HAZARD TREES)

EXISTING 4" & GREATER TREE DBH SAVED WITHIN BUFFERS

CAROL DRIVE ADJACENT PROPERTY 6' LANDSCAPE STRIP = 235'

CAROL DRIVE ON-SITE 6' LANDSCAPE STRIP & 15' SOUTH BUFFER = 253.5'

MITIGATION TREE INCHES PROPOSED TO BE PLANTED ON-SITE = 62'

PROPOSED MITIGATION TREE INCHES & EXISTING BUFFERS TREE DBH TOTAL = 550.5'

\*CURRENT SURPLUS OF INCHES REQUIRED = 2.5'

**LANDSCAPE REQUIREMENT INFORMATION**

TOTAL SITE ACREAGE = 1.55 ACRES (67,629.7 SF)  
(SEE PLAN FOR AREA)

12% OF TOTAL SITE (81,156.5 SF) REQUIRED TO BE LANDSCAPED = 8,115.6 SF REQUIRED

10% OF 12% (8,115.6 SF) TO BE TREES (EXISTING OR PROPOSED) = 811.6 SF REQUIRED

LANDSCAPED AREA PROPOSED = 23,722.2 SF

PERCENTAGE OF LANDSCAPED AREA DEDICATED TO TREES = 91.4% (21,675.8 SF)

**PARKING LOT LANDSCAPE REQUIREMENT INFORMATION**

PROPOSED AREA OF PARKING LOT = 22,138.6 SF  
(SEE PLAN FOR AREA)

COMMERCIAL USE = 10% LANDSCAPE REQUIREMENT

22,138.6 SF \* 10% = 2,213.9 SF REQUIRED

PROPOSED AREA OF PARKING LOT AREA TO BE LANDSCAPED (BOTH INTERIOR & EXTERIOR) = 10,031.9 SF

**REQUIRED LANDSCAPE BUFFER CHART**

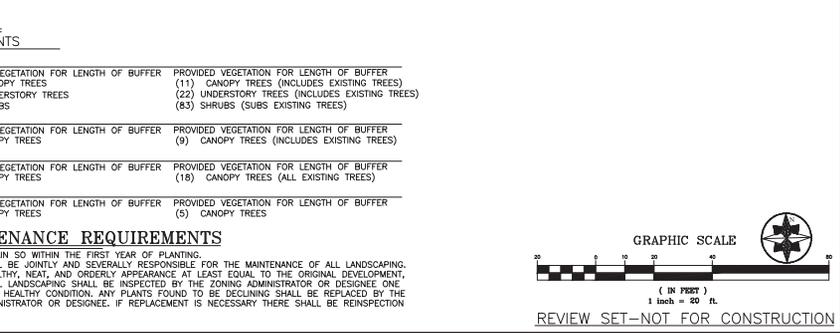
**CITY OF GOOSE CREEK - LANDSCAPE BUFFER REQUIREMENTS**

REQUIRED VEGETATION PER 100'	TOTAL BUFFER LENGTH	REQUIRED VEGETATION FOR LENGTH OF BUFFER	PROVIDED VEGETATION FOR LENGTH OF BUFFER
-TYPE 15' LANDSCAPE BUFFER (SOUTH BUFFER)			
REQUIRED VEGETATION PER 100'	275'	(11) CANOPY TREES	(11) CANOPY TREES (INCLUDES EXISTING TREES)
4 CANOPY TREES (2.5" CALIPER & 8' TALL MIN.)		(22) UNDERSTORY TREES	(22) UNDERSTORY TREES (INCLUDES EXISTING TREES)
8 UNDERSTORY TREES		(83) SHRUBS	(83) SHRUBS (SUBS EXISTING TREES)
-TYPE 6' LANDSCAPE BUFFER (CAROL DRIVE BUFFER)			
REQUIRED VEGETATION PER 100'	244'	(8) CANOPY TREES	(9) CANOPY TREES (INCLUDES EXISTING TREES)
3 CANOPY TREES (2.5" CALIPER & 8' TALL MIN.)			
-TYPE 6' LANDSCAPE BUFFER (CAROL DRIVE BUFFER - ADJACENT PROPERTY)			
REQUIRED VEGETATION PER 100'	267'	(8) CANOPY TREES	(18) CANOPY TREES (ALL EXISTING TREES)
3 CANOPY TREES (2.5" CALIPER & 8' TALL MIN.)			
-TYPE 6' LANDSCAPE BUFFER (HWY 52 BUFFER)			
REQUIRED VEGETATION PER 100'	148'	(5) CANOPY TREES	(5) CANOPY TREES
3 CANOPY TREES (2.5" CALIPER & 8' TALL MIN.)			

**CITY OF GOOSE CREEK LANDSCAPE MAINTENANCE REQUIREMENTS**

1. ALL PLANT MATERIALS INSTALLED MUST BE IN HEALTHY GROWING CONDITION AND REMAIN SO WITHIN THE FIRST YEAR OF PLANTING.

2. THE OWNER, OCCUPANT, TENANT AND THE RESPECTIVE AGENT OF EACH, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. LANDSCAPING SHALL BE MAINTAINED IN A GOOD CONDITION SO AS TO REPRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE AT LEAST EQUAL TO THE ORIGINAL DEVELOPMENT, AND SHALL BE KEPT FREE OF REFUSE, WITH DEAD VEGETATION PROMPTLY REPLACED. ALL LANDSCAPING SHALL BE INSPECTED BY THE ZONING ADMINISTRATOR OR DESIGNEE ONE YEAR AFTER ISSUANCE OF CERTIFICATE OF OCCUPANCY TO ENSURE IT IS SURVIVING IN A HEALTHY CONDITION. ANY PLANTS FOUND TO BE DECLINING SHALL BE REPLACED BY THE OWNER OF THE DEVELOPMENT WITHIN 30 DAYS OF NOTIFICATION FROM THE ZONING ADMINISTRATOR OR DESIGNEE. IF REPLACEMENT IS NECESSARY THERE SHALL BE REINSPECTION SIX MONTHS AFTER THE REPLACEMENT PLANTING.



THE TOMBLIN COMPANY, LLC  
LANDSCAPE ARCHITECTURE  
LAND PLANNING  
HISTORIC RENOVATION  
AMERICAN SOCIETY  
LANDSCAPE ARCHITECTS

716 FORT SUMNER DRIVE  
CHARLESTON  
SOUTH CAROLINA  
1.843.412.2944  
FAX 1.843.468.2721  
tomblincompany.com

LANDSCAPE ARCHITECTURAL SERVICES  
FOR  
**WEEKS & IRVINE**  
CAROL DRIVE & US 52 - HWY 52 - GOOSE CREEK, SOUTH CAROLINA  
GOOSE CREEK

JOB NUMBER  
**020760**

DHT / DHT / 9.10.20  
DRAWN BY - CHECKED BY - DATE

REVISIONS


SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**L101** OF 1  
2

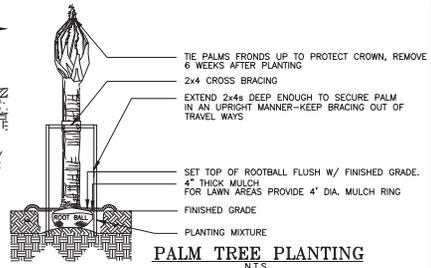
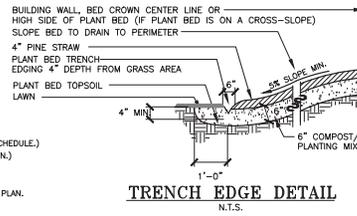
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**PRELIMINARY PLANT SCHEDULE**

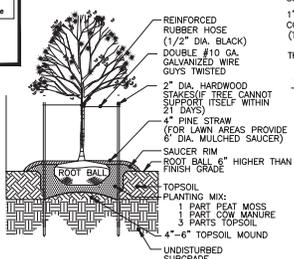
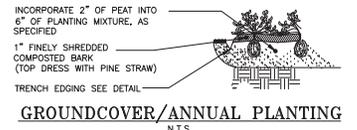
QUANTITY/ABBREV	BOTANICAL/COMMON	HEIGHT	SPREAD	CAL/SPACING	CONT	NOTES	MITIGATION PROVIDED
<b>TREE</b>							
2	ACER <i>Acer buergerianum</i> Sugar Maple	11'min	4'min	2.5'min	B&B/Cont.	Well-formed	
20	JUNY <i>Juniperus virginiana</i> Eastern Blue Juniper	12'min	3.5'min	2.5'min	B&B/Cont.	Well-formed	
4	LAWN <i>Lopastegia indica</i> 'Notches'	14'min	7'min	4.5'min	B&B/Cont.	Well-formed	18"
5	NYSS <i>Nyssa sylvatica</i> Black Tupelo	14'min	6'min	4'min	B&B/Cont.	Well-formed	20"
3	QUER <i>Quercus dumalis</i> Nuttall Oak	10'min	4'min	2.5'min	B&B/Cont.	Well-formed	
3	OLEA <i>Quercus virginiana</i> Live Oak	10'min	6.5'min	4'min	B&B/Cont.	Well-formed	12"
5	TAXD <i>Taxodium distichum</i> Bald Cypress	10'min	4'min	2.5'min	B&B/Cont.	Well-formed	
3	ULMO <i>Ulmus parvifolia</i> 'Drake' Kerrie Elm	14'min	5'min	4'min	B&B/Cont.	Well-formed	12"
*Total Mitigation Provided = 62"							
<b>PALM/PALMETTO</b>							
3	SABP <i>Sabal palmetto</i> Cabbage Palm	14'-18'			Bare Root	Full specimen	1/2" clear trunk min.
<b>SHRUBS</b>							
8	AZEX <i>Azalea x Conley-Ennore hybrid</i> Autumn Fire	24'min	24'min		3 Gal	Plant Eventy	
8	AZEX <i>Azalea x Conley-Ennore hybrid</i> Autumn Leaf	24'min	24'min		3 Gal	Plant Eventy	
26	AZEL <i>Azalea x Conley-Ennore hybrid</i> Autumn Glory	24'min	24'min		3 Gal	Plant Eventy	
12	CALV <i>Calliophora virginiana</i> 'Little John'	18'min	18'min		3 Gal	Plant Eventy	
9	CLEA <i>Calliandra amabilis</i> Sunburst Cestrum	24'min	24'min		3 Gal	Plant Eventy	
14	ILEB <i>Ilex pedunculata</i> Holly	24'min	24'min		3 Gal	Plant Eventy	
32	ILEV <i>Ilex vomitoria</i> Holly	24'min	24'min		3 Gal	Plant Eventy	
8	LOBP <i>Loropetalum chinensis</i> Flame Tree	30'min	24'min		3 Gal	Plant Eventy	
44	LOBS <i>Loropetalum chinensis</i> 'Shang-hi'	18'min	18'min		3 Gal	Plant Eventy	
22	MISC <i>Muscadine grape</i> 'Cobblers' Cobaret Muscadine	18'min	18'min		3 Gal	Plant Eventy	
115	MULF <i>Muhlenbergia floridana</i> Hairy Am. Muhly	18'min	18'min		3 Gal	Plant Eventy	
69	MYRC <i>Myrica caroliniana</i> Wax Myrtle	24'min	24'min		3 Gal	Plant Eventy	
14	PIIT <i>Philadelphus 'Cin. Three Pale'</i> 18188	18'min	18'min		3 Gal	Plant Eventy	
8	PIYU <i>Philadelphus 'John V. Yarnes'</i>	30'min	30'min		3 Gal	Plant Eventy	
15	PODO <i>Podocarpus</i>	36'min	18'min		7 Gal	Shaded	Plant Eventy
5	ROSA <i>Rosa 'Charlotte'</i> Charlotte Rose	18'min	18'min		3 Gal	Plant Eventy	
14	YIBS <i>Yucca filamentosa</i> Yucca	24'min	24'min		3 Gal	Plant Eventy	
<b>GROUNDCOVER</b>							
140	ANNS Annual spp.	=	=	10'0" C.C.	2" Pot	Contractor coordinate w/Landscape Architect on availability.	Plant Eventy
28	LANT Lantana 'New Gold'	8"	8"		1 Gal	Plant Eventy	
103	LIBE <i>Liriodendron 'Virragreen Giant'</i> Evergreen Giant Loribee	12"	8"		1 Gal	Plant Eventy	
25	LIBV <i>Liriodendron 'Virragiant'</i> Virragiant Loribee	8"	8"		1 Gal	Plant Eventy	
38	SETP <i>Sarcocornus pallida</i> Sarcocornus	6"	6"		1 Gal	Plant Eventy	
52	TULV <i>Turkopschia 'Tropicis'</i> Turkopschia	12"	12"		1 Gal	Plant Eventy	
<b>GRASS</b>							
500	Centiade					Install level and maintain until no gaps 1/2" or greater	

**PLANT SCHEDULE EXPLANATORY NOTES:**

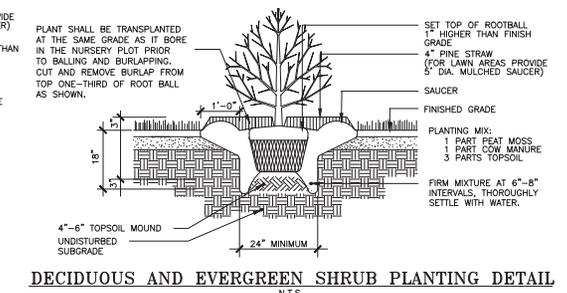
- THE FOLLOWING PLANT SCHEDULES ARE PREPARED AS A SELECTION OF PLANTING MATERIALS.
- WHERE AN ABBREVIATION IS SHOWN, FOLLOWING NOTES APPLY.  
QUAN - QUANTITY OF PLANT MATERIALS REQUIRED FOR PROJECT.  
ABBREV - BOTANICAL ABBREVIATION.  
BOTANICAL/COMMON - NAME OF PLANT MATERIAL.  
HEIGHT - HEIGHT OF PLANT MATERIAL.  
SPREAD - DIAMETER OF PLANT MATERIAL.  
CONT - CONTAINER TYPE WHICH PLANT MATERIAL IS ENCASED UPON SITE DELIVERY.  
(SIZE SHALL TAKE PRECEDENCE OVER CONTAINER.)  
SPACING - DISTANCE FROM CENTER OF EACH PLANT (PLAN SHALL TAKE PRECEDENCE OVER SCHEDULE.)  
CAL - CALIPER/DIAMETER OF TRUNK. (REFER TO SPECS FOR MORE SPECIFIC INFORMATION.)  
CONT - CONTAINER TYPE WHICH PLANT MATERIAL IS ENCASED UPON SITE DELIVERY.  
NOTES - SPECIFIC NOTES FURTHER SPECIFYING OR DESCRIBING PLANT MATERIAL.
- VERIFY QUANTITIES SHOWN ON PLANT SCHEDULE AND PLANT MATERIAL SHOWN ON PLANTING PLAN.



- NOTES:
- ALL PALMS SHALL BE SPRAY TREATED WITH APPROVED INSECTICIDE AT TIME OF ORIGINAL TRANSPLANTING AND AGAIN AT TIME OF PLANTING. TRUNK OF PALMS SHALL BE NEARLY UNIFORM IN SIZE OVER ENTIRE HEIGHT AND SHALL BE FREE OF DEAD FRONDS, FIRE STUBS, OR OTHER DAMAGE.
  - COORDINATE ROOTBALL SIZE WITH PLANTER WIDTHS.
  - MAINTAIN TREE IN A PLUMB UPRIGHT POSITION.
  - ALL CABLE CLAMPS, TURNBUCKLES & BOLTS, TO BE RUST RESIST.
  - PALMS 30 GAL. OR SMALLER (LESS THAN 8') DO NOT NEED STAKING UNLESS STABILITY BECOMES A PROBLEM. SEE SCHEDULE FOR SIZES.
  - LOCATE GUYS WITHIN PLANT BEDS.
  - REMOVE ALL STRAPS AND GUYS AFTER (1) YEAR.



- TREE PLANTING NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
  - REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM ROOT BALL.
  - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
  - SET AND MAINTAIN TREE IN (PLUMB) VERTICAL POSITION. REMOVE ALL DEAD AND DAMAGED BRANCHES & ALL SUCKER GROWTH. DO NOT CUT CENTRAL LEADER.



**SITE AND LANDSCAPE NOTES:**

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1980) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS WITH 4" OF CLEAN COMPOST TILED IN ALL PLANTING AREAS. CONTACT LANDSCAPE ARCHITECT FOR SOIL TEST AND FERTILIZER AS SPECIFIED. SUBMIT PURCHASE ORDERS TO LANDSCAPE ARCHITECT.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. DURING SUMMER CONDITIONS ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS. PRUNE ALL MATERIAL OUT OF SIDEWALKS, DRIVES AND VISION TRIANGLES.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES 4 INCHES AND OVER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED. THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING & TREE WRAP AT THE END OF THE ONE YEAR MAINTENANCE & GUARANTEE PERIOD.
- THE TRUNKS OF ALL TREES SHALL BE WRAPPED AS SOON AS POSSIBLE AFTER PLANTING ACCORDING TO STANDARD PROCEDURES AND AS INDICATED.
- PRIOR TO ANY LANDSCAPE OR IRRIGATION WORK VERIFY EXISTING CONDITIONS. FOR IRRIGATION SUBMIT LAYOUT TO LANDSCAPE ARCHITECT FOR APPROVAL. IRRIGATION TO PROVIDE WATER TO 100% OF LANDSCAPE MATERIAL.
- PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING AND PROPOSED UTILITIES. IF CONFLICTS EXIST WITH PROPOSED LOCATIONS OF PLANT MATERIAL CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. DO NOT PLANT MATERIAL.
- ALL WINE MATERIAL, TRASH AND INVASIVE SPECIES TO BE REMOVED FROM ALL LANDSCAPE AREAS.
- ALL DIMENSIONS ARE B.O.C.(BACK OF CURB) UNLESS OTHERWISE SPECIFIED.
- ALL UTILITIES AND OTHER EXISTING CONDITIONS SHOWN ARE FROM CIVIL ENGINEERING DEVELOPMENT DRAWINGS AND ARE IN NO WAY AS-BUILT CONDITIONS. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. EXISTING UTILITIES AND OTHER EXISTING CONDITIONS MAY VARY GREATLY DUE TO UNDOCUMENTED CONSTRUCTION.
- ALL PLANTING AREAS TO RECEIVE 4" CLEAN PINE STRAW FOR FINAL TOP MULCHING.
- PRIOR TO ANY WORK VERIFY FULL APPROVAL FROM OWNER AND ANY REQUIRED PERMITTING FROM THE CITY OF GOOSE CREEK.

REVIEW SET-NOT FOR CONSTRUCTION

THE TOMBLIN COMPANY, LLC  
 ANMISCAPE ARCHITECTURE  
 LAND PLANNING  
 HISTORIC RENOVATION  
 AMERICAN SOCIETY  
 LANDSCAPE ARCHITECTS  
 716 FORT SUMNER DRIVE  
 CHARLESTON  
 SOUTH CAROLINA  
 1.843.412.2944  
 FAX 1.843.466.2721  
 tomblincompany.com

LANDSCAPE ARCHITECTURAL SERVICES  
 FOR  
**WEEKS & IRVINE**  
 601 W. 11th St., Suite 202  
 CHARLOTTE, NORTH CAROLINA  
 704.375.1111  
 SOUTH CAROLINA  
 803.799.1111

JOB NUMBER  
**020760**

DWT / DWT / 9/10/20  
 DRAWN BY-CHECKED BY-DWT

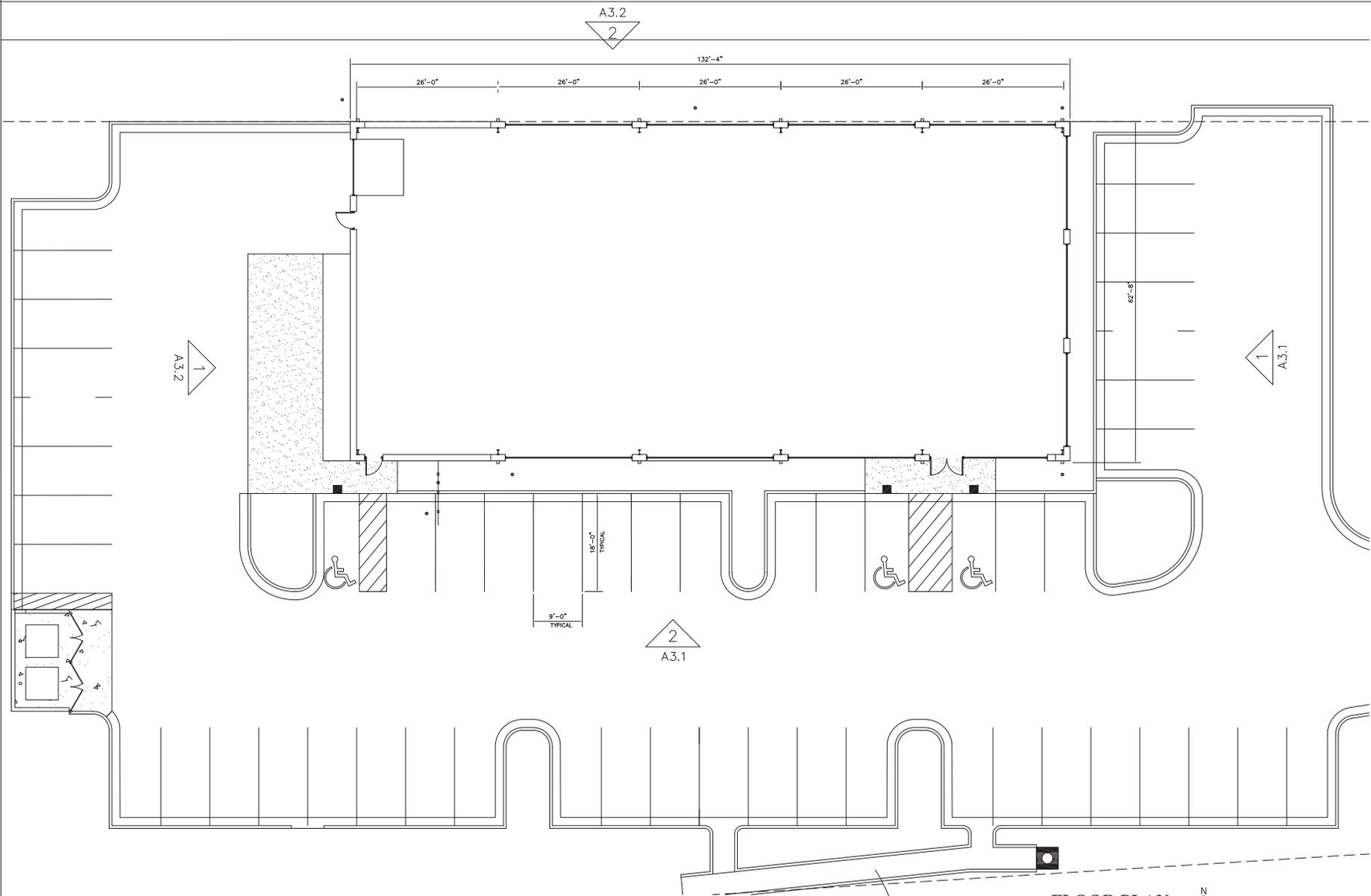
REVISIONS

SHEET TITLE  
 LANDSCAPE PLANT  
 SCHEDULE, W/PLANTING  
 DETAILS & NOTES

SHEET NUMBER  
**1102**  
 OF  
**2**

**2**

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**FLOOR PLAN**

0 4" 8" 16"

SCALE: 1/8" = 1'-0"

PLAN NORTH

TRUE NORTH

**SHOOK**  
ASSOCIATES,  
ARCHITECTS

ARCHITECTURE  
INTERIOR ARCHITECTURE  
LAND PLANNING

P.O. BOX 20489  
CHARLESTON, S.C. 29413  
843/216-1727, FAX 843/216-2019

OFFICES OF WEEKS & IRVINE  
503 N. GOOSE CREEK BOULEVARD  
GOOSE CREEK, SC

PRELIMINARY  
ARB SUBMITTAL  
REVISED

REVISION	NO.

FLOOR PLAN

A2.1

JOB NO.: 40937  
DATE: 09-03-2020  
REF: 40937 A2.1

**SHOOK**  
ASSOCIATES,  
ARCHITECTS

ARCHITECTURE  
INTERIOR ARCHITECTURE  
LAND PLANNING

P.O. BOX 20489  
CHARLESTON, S.C. 29413  
843/216-1727, FAX 843/216-2019

OFFICES OF WEEKS & IRVINE  
503 N. GOOSE CREEK BOULEVARD  
GOOSE CREEK, SC



1 EAST ELEVATION



HARDI COMPOSIT  
LAP SIDING WITH  
SMOOTH FINISH



2 SOUTH ELEVATION



ALUMINUM STOREFRONT  
GLAZING SYSTEM

EXP. JT.  
(TYPICAL)

SMOOTH FACED  
CONCRETE BLOCK

FACE BRICK

EXP. JT.

PRECAST CONCRETE  
WATER TABLE

STANDING SEAM  
METAL ROOF

PRELIMINARY  
ARB SUBMITTAL  
REVISED

REVISION	NO.

ELEVATIONS

A3.1

JOB NO.: 40937  
DATE: 09-03-2020  
REF: 40937 A3-1

**SHOOK**  
ASSOCIATES,  
ARCHITECTS

ARCHITECTURE  
INTERIOR ARCHITECTURE  
LAND PLANNING

P.O. BOX 20489  
CHARLESTON, S.C. 29413  
843/216-1722, FAX 843/216-2019

OFFICES OF WEEKS & IRVINE  
503 N. GOOSE CREEK BOULEVARD  
GOOSE CREEK, SC



PRELIMINARY  
ARB SUBMITTAL  
REVISED

REVISION	NO.

JOB NO.-40937  
DATE: 09-03-2020  
REF: 40937

WEEKS & IRVINE 503 N. GOOSE CREEK BOULEVARD – EXTERIOR MATERIALS

<p><b>Cool Granite Gray</b></p> 	<p>METAL ROOF – VARCO PRUDEN Color – Cool Hemlock Green</p>
 <p>Cookie Dough PPG1096-3</p>	
	<p>BRICK- Meridian Brick Columbia Collection Color - Congaree</p>
	<p>BASE – Smooth Face Concrete Masonry Units</p> <p>Echelon – Trendstone Color: Butterscotch - East</p>
	<p>AWNINGS/STOREFRONT Dark Anodized Alum</p>



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MAJOR APPLICATION: NEW BUSINESS

**CHAO GOYANO**  
408 Red Bank Rd  
**Signage, Elevation**

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**OFFICE USE ONLY**

PERMIT #: 042006  
 AMOUNT DUE: \$ \_\_\_\_\_  
 DATE PAID: 75.00

**CITY OF GOOSE CREEK SIGN PERMIT APPLICATION**

Today's Date: 6-29-2020

Permit Fee: \$75.00

1. Business Owner VALEMAR SILVA Business Phone [REDACTED]  
 Name of Business CHAO GOIANG Alternate Phone \_\_\_\_\_  
 Street Address of Business 408 RED BANK RD GOOSE CREEK SC  
 Landlord/Lessor \_\_\_\_\_ Landlord's Phone \_\_\_\_\_  
 Sign Company PUBLICITY SIGN Sign Co. Phone 843 3728842  
 Sign Co. Contact RICHARD Sign Co. Address 290 RED BANK RD SUITE 11
2. Cost of Sign(s) \$ 3800 Sign Installation Cost \$ 600 Total Cost \$ 4400.00
3. How many signs are you applying for? 1 How many signs does this business already have? 0
4. What kind of signs does this business already have? \_\_\_\_\_  None
5. What type of business is applying for this sign permit:  
 A. A stand alone business?  Yes  No  
 B. A part of a shopping center?  Yes  No If yes, shopping center name: \_\_\_\_\_
6. What is the TMS number for this property? \_\_\_\_\_
7. What is the front setback of the business in feet? 1676 (The distance from the front property line to the front of business)  
 A. For corner lots only, what is the front setback for second street frontage in feet?
8. What is the width of the business in feet? 105 (The distance from wall to wall)  
 A. For corner lots only, what is the width of the business for second street frontage in feet?
9. What is the property's road frontage in feet? \_\_\_\_\_ (This only applies to shopping centers erecting a freestanding sign)
10. Please attach photos showing:  
 A. The storefront in relation to adjacent businesses;  
 B. The specific location of proposed sign(s) on the property or building; and  
 C. The actual sign if it already exists.
11. Please attach drawings of each proposed sign showing (drawn to scale):  
 A. The completed sign as it will actually appear on the building  
 B. All dimensions;  
 C. Where the colors will appear;  
 D. The location on the property (on a plat) of proposed & existing freestanding signs  
 E. The location on the building of proposed & existing building signs
12. Please attach swatches, samples, and/or paint chips of all proposed colors to the application.
13. Please complete the Sign Information Table located on the following page.
14. You are required to attend the Architectural Review Board meeting in which your sign application is reviewed.
  - Please submit this application by the 1<sup>st</sup> Monday of the month for consideration that month by the ARB.
  - The ARB meets on the 3<sup>rd</sup> Monday of each month. (Please see attached ARB schedule for application deadlines and meetings.)

**OFFICE USE ONLY**

MAX. NO. OF ALLOWED SIGNS: \_\_\_\_\_  
 MAX ALLOWED SIGN AREA: \_\_\_\_\_

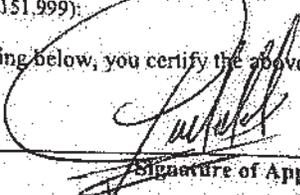
**NOTE:** Illuminated, exposed and non-exposed neon signs located on the interior of a business, which are visible from the exterior of the business, must be reviewed by the ARB. Such signs shall be included as part of a business's maximum allowable square footage of building signage, as authorized in Section 151.084 of the City Code. A "non-exposed neon sign" shall be interpreted as a neon sign that does not have externally visible neon tubing. Neon signs enclosed in plastic, glass and Plexiglas casings are considered "exposed neon signs." All electrical work must be in accordance with the City's Code of Ordinances and the National Electrical Code.

**SIGN INFORMATION TABLE**

Required Information	Sign 1	Sign 2	Sign 3
Materials: (metal, plastic, wood, etc.)			
Illumination: Exterior, interior or not lighted	LED 12V		
Type of Sign:	CHANNEL LETTER		
Height (FEET)	9		
Width (feet)	10		
Area (square feet)	90		
All colors used on sign	GOLD, YELLOW		
Is there a graphic (picture) on the sign? (Y/N) If yes, size of graphic	Y		
Projection from building or cabinet width (thickness)	N/A		
Number of styles of lettering	1, 2		
Height of letters (if channel letters)	16"		
If mounting individual letters, space between letters	2"		
If mounting individual letters, space between words	5"		
If window sign, size of window	N/A		
If changeable copy sign (reader board), number of lines	N/A		
If freestanding sign, distance between sign and street curb (ft)	N/A		
If freestanding sign, total height above grade (ft)	N/A		
If freestanding sign, landscaping materials to be planted at base of sign	N/A		

Review the attached Zoning Ordinances pertaining to sign regulations (Section 151.084). Be advised to examine them thoroughly so as to avoid violations (Section 151.999).

By signing below, you certify the above information that you provided to be true and correct.

  
 \_\_\_\_\_  
 Signature of Applicant

6-29-2020  
 \_\_\_\_\_  
 Date

<b>OFFICE USE ONLY</b>		
Remarks: _____		
Approval: Zoning Administrator _____ Issued by: _____ Date: _____		



**SIDE AND ELEVATION**

**CHAO GOIANO**

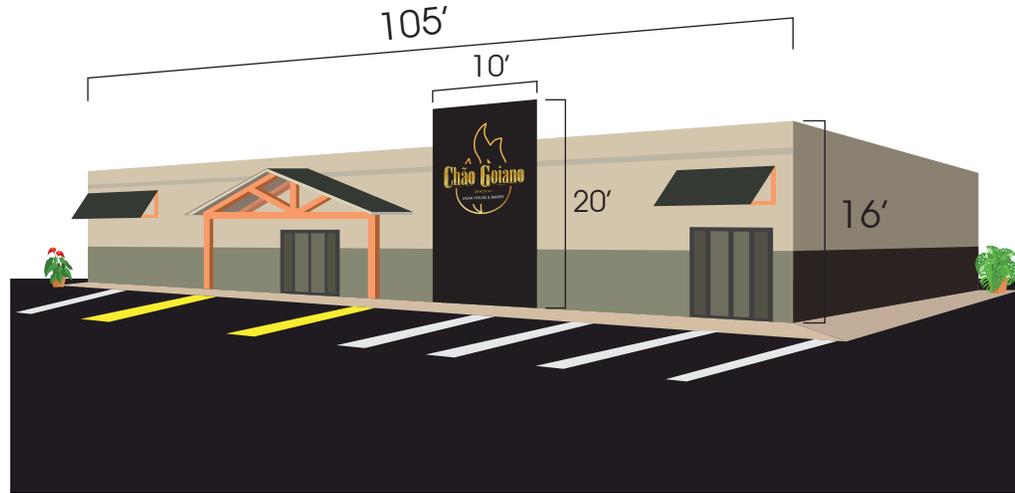
SIDE A ELEVATION

# CHAO GOIANO

408 Red Bank Rd.  
Goose Creek SC 29445

PROOF

## IMPOSED IMAGERY



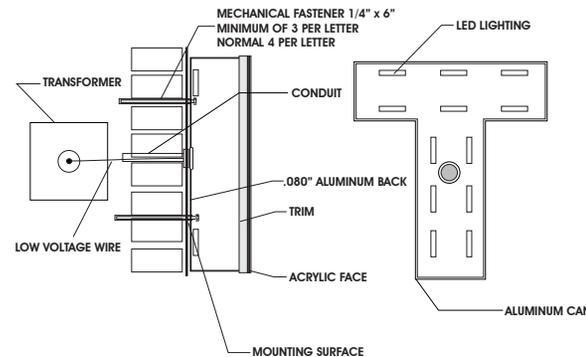
**NOTES:**

- IF ELECTRICAL LINE/J-BOX IS WITHIN 6' OF ELECTRICAL, CONNECTION TO BE HANDLED BY INSTALLER. IF NOT ELECTRICAL HANDLED BY OWNER/GC
- REMOVAL AND DISPOSAL OF EXISTING WALL SIGNS HANDLED BY GC/OWNER



10'

## DETAIL



## SPECIFICATIONS

### ILLUMINATED CHANNEL LETTERS

- Quantity:** 1
- Size:** As in drawing
- Trim:** 1"
- Trim Color:** Gold
- Return Color:** Gold
- Face Color:** Yellow
- Face:** 1/8" Acrylic
- Letter Interior:** Yellow
- Illumination:** LED
- Mounting:** Hanging Bars Flush to Fascia
- Total facade Area:** 1,696 square feet
- Total sign Area:** 90 square feet

Owner/Landlord Approval \_\_\_\_\_

**PUBLICITY SIGN**

220 Red Bank Rd #11, Goose Creek, SC 29445 • (843) 408 0541

# **SMART CHOICE CONSTRUCTION, LLC**

**SIDE AND ELEVATION**

**CHAO GOIANO**

SIDE A ELEVATION

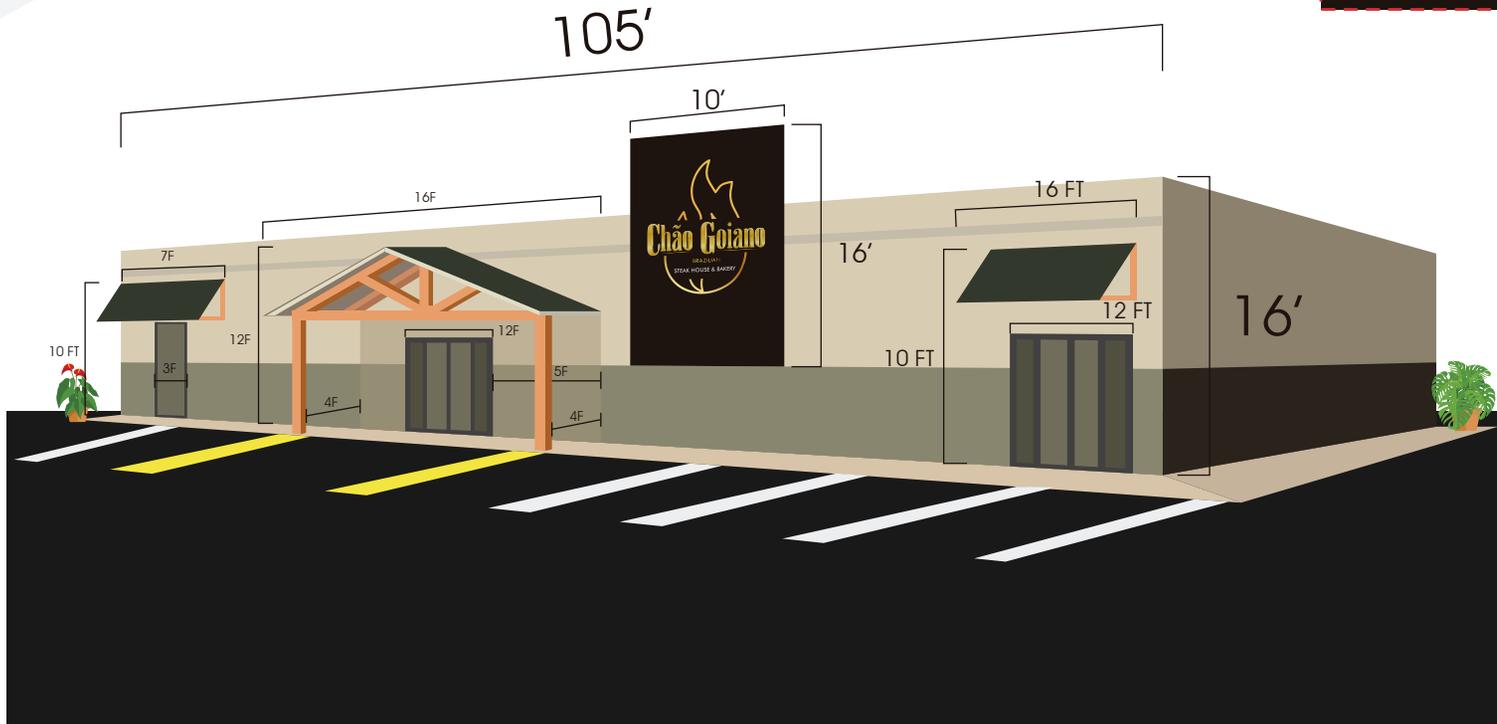
# CHAO GOIANO

408 Red Bank Rd.  
Goose Creek SC 29445

PROOF



## IMPOSED IMAGERY



## SPECIFICATIONS

Columns 6x6 pressure treated wood

Ledger 2x4 pressure treated wood

Metal sheet roof

5/8" T1 11 Plywood

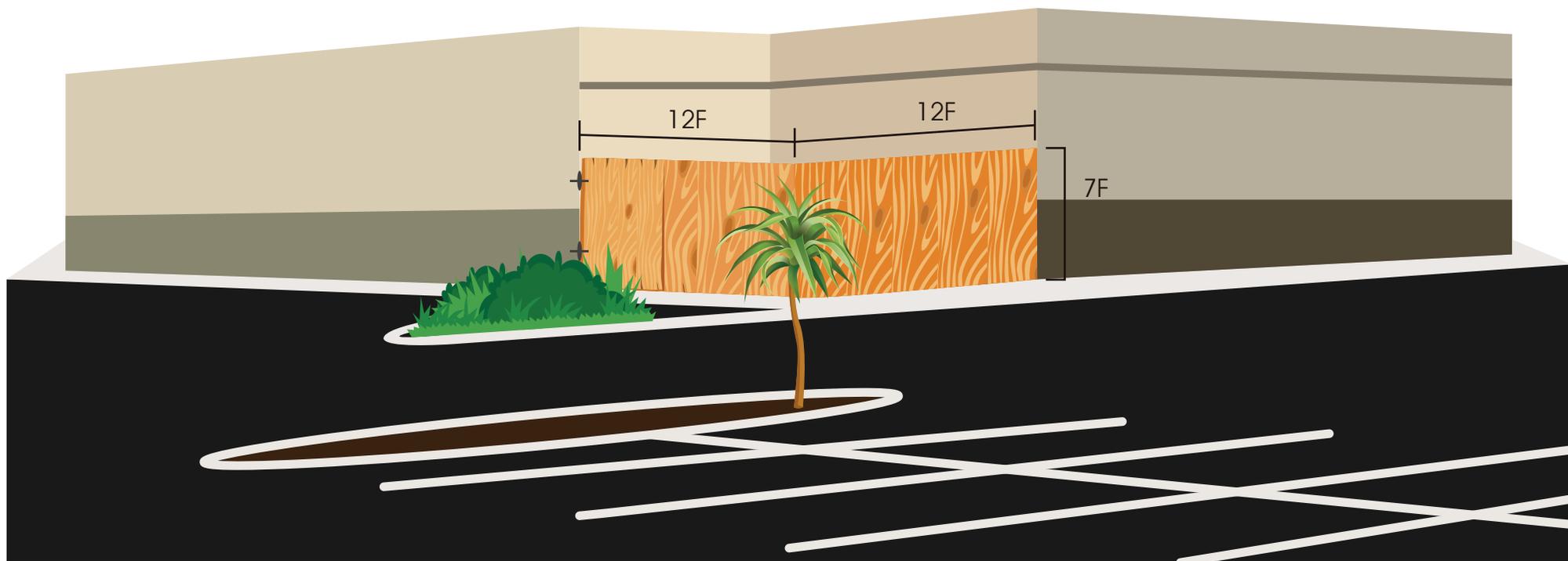
Pressure treated wood fence with 4x4 post

Galvanized screws

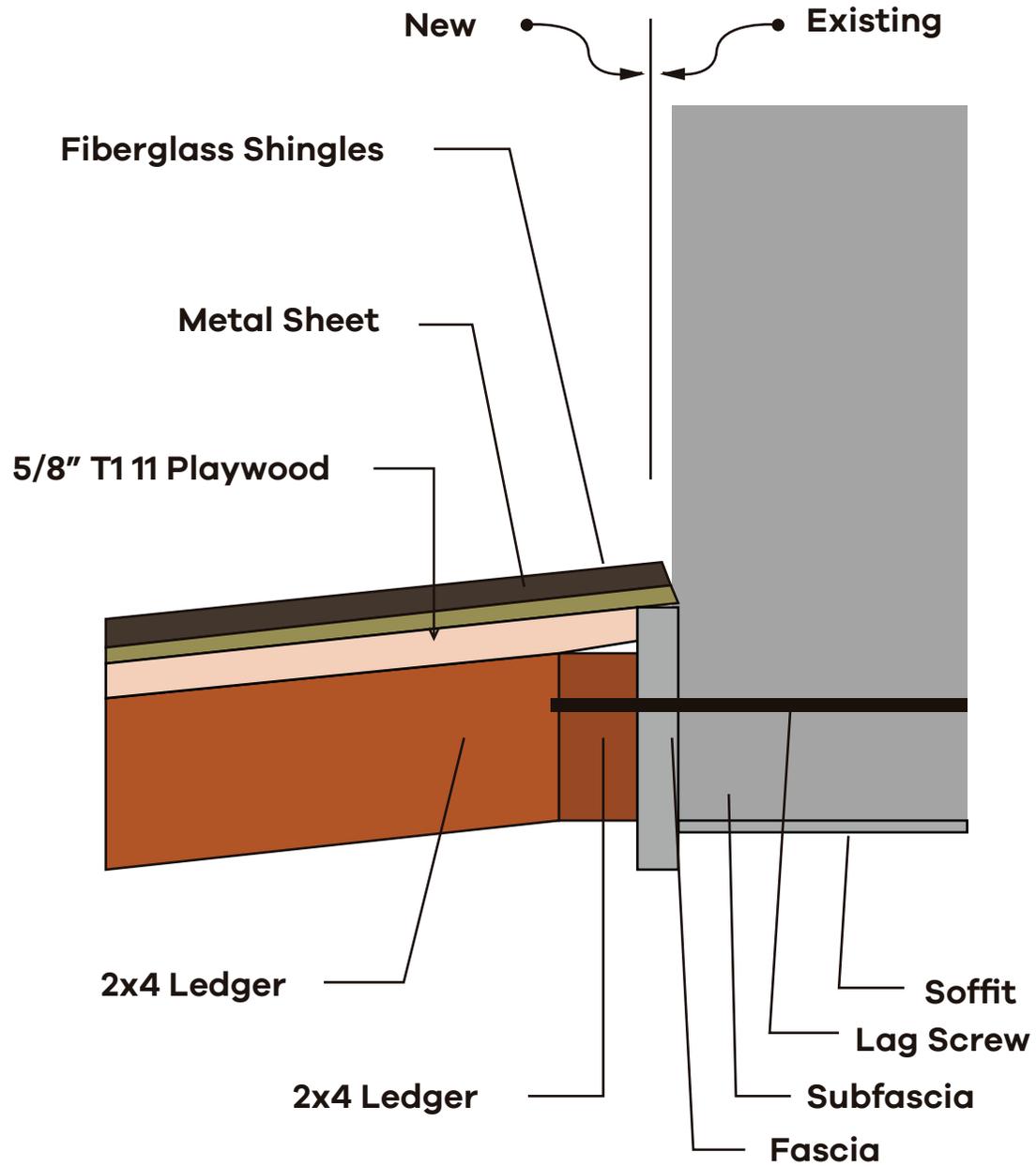
Owner/Landlord Approval \_\_\_\_\_  
42066, P.o box 22344, Charleston, sc 29413

**SMART CHOICE CONSTRUCTION, LLC**

flaviofa@hotmail.com



# RAFTER HEAD DETAIL





**SIDE AND ELEVATION**

**CHAO GOIANO**

SIDE A ELEVATION

# CHAO GOIANO

408 Red Bank Rd.  
Goose Creek SC 29445



Owner/Landlord Approval \_\_\_\_\_

**PUBLICITY SIGN**

220 Red Bank Rd #11, Goose Creek, SC 29445 • (843) 408 0541



## SPECIFICATIONS

Columns 6x6 pressure treated wood

Ledger 2x4 pressure treated wood

Metal sheet roof

5/8" T1 11 Plywood

Pressure treated wood  
fence with 4x4 post

Galvanized screws