



2022-065NBLD

BRICKHOPE

CUBE SMART STORAGE



MEMORANDUM

TO: City of Goose Creek Architectural Review Board
FROM: Alexis Kiser, Assistant to City Administrator
RE: Brickhope Self Storage, Henry Brown Boulevard (TMS# 235-00-00-065)
DATE: October 14, 2022

Staff has reviewed the submittal to the Architectural Review Board (ARB) and offers the following commentary:

General Conformance Analysis

1. The application is for the construction of a new self-storage facility on TMS# 235-00-00-065 totaling 8.64 acres with 5.6 acres disturbed area. The parcel is zoned Planned Development (PD) in a commercial area, and a storage facility is an approved use.
2. The site of this development has street frontage on Henry Brown Boulevard and backs Seaboard Coastline Railroad.
3. The proposed site plan appears to meet setbacks.
4. The proposed building layout does not meet section §151.131(5)(m) for mini-warehouses as the back building has bay doors that open from the outside, not a common entrance.

Architectural Review Design Guidelines Analysis

Site design

Due to the geographical constraints of the subject parcel, the elevation of the building is set into two separate sections. The total square footage of the building is +/- 111,932. The proposed site design orients the building so that loading bays are not oriented to the public right of way and outdoor storage areas are screened by fencing with gate access. The additional retail/office space will have second office tenant entry, which the site accommodates with convenient parking for users. The ingress point from Henry Brown Boulevard will feature a detention pond that is visible from the right-of-way and will add to visual interest of this property.

Architectural theme

The proposed structure will be two (2) stories. The previous version that was presented to the Architectural Review Board was three (3) stories. The structure will create variation in the existing built environment by using a mix of materials and sight breaks. The use of metal canopy columns adds to the architectural theme of the proposed building structure.

Architectural interest

The proposed building will use a mix of building materials including brick veneer, metal fascia, metal canopies, and EIFS. The applicant has incorporated façade variations every +/- 50 feet by incorporating changes in materials, changes in colors, and changes in rooflines and height along building sections that are visible to the public right-of-way. Sections of the building that show less architectural interest to assist with functionality are shielded by fencing and landscaping. The colors and materials selected for this project are used throughout and promote visual unity. The use of windows on the storefront facing the right-of-way provides additional visual interest by extending the sight line.



Building design

The scale and proportion of the proposed building conforms with other buildings in the area. The previous version of this development proposed three stories, the current version is two stories, which better reflects the scale of the current built environment. The building design shows a defined body and cap and uses windows and canopies to define the base of the building. The loading area, situated behind a fence with gate access, uses similar architectural features used on the storefront, however, the brick veneer is only used in the building area facing the right-of-way and not on side elevations that may be visible from the right-of-way. The rear elevation faces the railroad tracks. The applicant has chosen to use stucco, in lieu of metal siding; stucco is preferred over metal siding which is a typical material for developments with this use. All rooftop mounted mechanical equipment is appropriately screened from public view.

Site Elements

The fence being proposed on this development is not set along the public right-of-way and is set back from the storefront area. The loading area is screened from the public right-of-way by the gate accessible fence area. The refuse collection area is enclosed on all four sides with materials that are architecturally compatible with building materials; it is also located behind the fenced area. The loading area which is screen by the fence, does not impeded vehicular and pedestrian circulation.

Staff Recommendation

Staff asks the Architectural Review Board to instruct the applicant to work with staff to improve the side elevation facing the transmission line so that it mirrors the front elevation in its use of variation materials and architectural interest. Due to the transmission line that runs along this elevation and the vacant lot beyond that, there is potential that this will be a common sight line. Staff also requires that the external rolled doors on the back section of the building be removed to meet the use described §151.131(5)(m) of the zoning ordinance.

Additionally, §151.082(K)(c) states, “the site shall incorporate interesting architectural features such as a water fountain, flagpole, or decorative wrought iron fencing to the front of the site at the entryway...”. Staff asks that the ARB discuss using one of these elements at the entryway.



Figure 1: View of parcel from Henry Brown Boulevard.



**ARB SCOPE OF WORK FORM/****APPLICATION / INFORMATION SUMMARY****DEPARTMENT OF PLANNING AND ZONING 843-797-6220 EXT. 1118**

P.O. Drawer 1768

519 N. Goose Creek Blvd.

Goose Creek, South Carolina 29445-1768

www.cityofgoosecreek.com

Fax: 843-863-5208

Property Address: Henry E Brown Jr. Blvd.		TMS No.: 235-00-00-065
Review request:	For:	Preliminary meeting date requested: 06/22/2022
<input type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Architectural Review Board
<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition <input type="checkbox"/> Other _____	

Property Owner: Island Estate Group LLC	Daytime phone: 631-767-0350
Applicant: Losse Knight	Daytime phone: 843-330-8940
ARB Meeting Representative: Losse Knight	Contact Information : 843-330-8940
Applicant's mailing address: 886 Johnnie Dodds Blvd, Suite 200	
City: Mount Pleasant	State: SC Zip: 29464
Applicant's e-mail address: losse@lfkarchitect.com	
Applicant's relationship: <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input type="checkbox"/> Other	

Materials/Colors Used: <i>(specific color(s)/manufacture #'s listed: samples must be presented to Board <input checked="" type="checkbox"/> attached)</i> <i>(Example: Building Materials, Exterior Colors, Landscaping, Lighting)</i>
SEE EXTERIOR MATERIALS PALETTE AND ATTACHED CUTSHEETS
Scope of Work: <i>(please give a detailed description)</i>
NEW CONSTRUCTION OF A (2) STORY (137,918 SF) SELF-STORAGE FACILITY, WITH AN OFFICE TENANT SPACE (2,487 SF). EXISTING SITE IS UNDEVELOPED. PROPOSED BUILDING TYPE II B SPRINKLERED METAL FRAMED. 17 TOTAL PUBLIC PARKING SPACES PROVIDED, 1 ADA SPACE. RV & BOAT STORAGE PARKING IS PROVIDED AT REAR OF PROPERTY BEHIND GATE AND ENCLOSED WITH AN 8' TALL OPAQUE FENCE. NO PROTECTED TREES ON SITE. DUMPSTER ENCLOSURE PROVIDED ON SITE.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Architectural Review Board of the City of Goose Creek on the date specified.

Applicant's signature:  Date: 09/20/2022

Print name legibly: Losse Knight

BRICKHOPE SELF STORAGE

HENRY BROWN BOULEVARD
GOOSE CREEK, SC
TMS#: 235-00-00-065

ARCHTETURAL REVIEW BOARD
09.20.2022



LOCATOR MAP
NOT TO SCALE (LOCATION MAP PER GOOGLE MAPS)



PROJECT TEAM:

ARCHITECT: (PRIMARY CONTACT)

LFK ARCHITECTS, LLC
886 JOHNNIE DODDS BLVD
SUITE 200
MOUNT PLEASANT, SC 29464

LOSSE F. KNIGHT III, AIA
lossef@lfkarchitect.com
843-330-8940

CIVIL:

McCORMICK & ASSOCIATES

MICHAEL McCORMICK P.E.
CIVIL ENGINEER
843.971.3646

JODY FURMAN
LANDSCAPE ARCHITECT
FURMAN LAND DESIGN, LLC
843.343.1320



PERSPECTIVE FROM HENRY BROWN BLVD

DRAWING INDEX:

G001 COVER SHEET, INDEX, AND PROJECT NOTES

CONTEXT AERIAL
STREETSCAPE IMAGES

CIVIL

- C1 SURVEY
- C2 EXISTING CONDITIONS AND DEMO PLAN
- C3 SITE PLAN
- C4 GRADING AND STORM DRAINAGE PLAN
- C5 SWPPP
- C6 WATER & SANITARY SEWER PLAN
- C7 TRUCK ROUTING PLAN
- C8 SITE DETAILS
- C9 SWPPP AND STORM DRAINAGE DETAILS
- C10 SWPPP NOTES AND DETAILS
- C11 SWPPP DETAILS
- C12 SWPPP DETAILS
- C13 SWPPP DETAILS
- C14 UTILITY DETAILS

LANDSCAPE

- L1 LANDSCAPE PLAN A
- L2 LANDSCAPE PLAN B
- L3 LANDSCAPE RENDERING

ARCHITECTURAL

- A001 ARCHITECTURAL SITE PLAN
- A002 ENLARGED ARCHITECTURAL SITE PLAN - PART 1
- A003 ENLARGED ARCHITECTURAL SITE PLAN - PART 2
- A100 FIRST FLOOR PLAN
- A101 ENLARGED FIRST FLOOR PLAN - PART 1
- A102 ENLARGED FIRST FLOOR PLAN - PART 2
- A103 SECOND FLOOR PLAN
- A104 ENLARGED SECOND FLOOR PLAN - PART 1
- A105 ENLARGED SECOND FLOOR PLAN - PART 2
- A106 ROOF PLAN
- A107 ENLARGED ROOF PLAN - PART 1
- A108 ENLARGED ROOF PLAN - PART 2

3D PERSPECTIVES
EXTERIOR MATERIALS PALETTE

- A200 EAST AND WEST ELEVATIONS
- A201 SOUTH ELEVATION
- A202 NORTH ELEVATION

- A300 BUILDING SECTION & MECH CURB SECTION DETAIL
- A301 WALL SECTIONS
- A302 WALL SECTIONS
- A303 DUMPSTER ENCLOSURE

ATTACHMENTS

JACKSON WILLIAMS CANOPY
LIGHT FIXTURES
PHOTOMETRIC DESIGN BY EPIC ENGINEERING
SEMINOLE MASONRY FENCE

PROJECT DATA:

PROJECT NAME: BRICKHOPE SELF STORAGE
ADDRESS: HENRY BROWN BLVD.
GOOSE CREEK, SC
COUNTY: BERKELEY
CITY: GOOSE CREEK
TMS: #235-00-00-065

GENERAL NOTES:

- 1) DRAWINGS ARE NOT INTENDED TO BE SCALED.
- 2) EXISTING CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- 3) THE ARCHITECT IS TO BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWING SPECIFICATIONS.
- 4) ALL STRUCTURAL DRAWINGS AND SPECIFICATIONS INCLUDED IN THIS DRAWING SET ARE SPECIFIC TO THIS PARTICULAR SITE LOCATION/BUILDING ONLY AND ARE PROPERTY OF LFK ARCHITECTS, LLC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS INFORMATION IS SUBJECT TO LEGAL PROSECUTION.

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LFK
ARCHITECTS

Land Planning • Feasibility Studies
Conceptual • Masterplan Design
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LFK ARCHITECTS, LLC
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SUITE 200
MOUNT PLEASANT, SC 29464
LOSSE F. KNIGHT III, AIA
lossef@lfkarchitect.com
phone: 843.330.8940

JOB NUMBER: 21-153
DESIGNER: JFB
CHECKED: LFK

REVISION NOTES:

NO.	DATE	DESCRIPTION

BRICKHOPE SELF STORAGE
HENRY BROWN BOULEVARD
GOOSE CREEK, SC
COVER SHEET & INDEX

SHEET NUMBER & TITLE

G001

FINAL ARB
09.20.2022



Context Aerial





matchline



matchline

matchline



matchline



Streetscapes East Side Henry E Brown Blvd





matchline



matchline

matchline



matchline

Hawthorne
Landing

Streetscapes West Side Henry E Brown Blvd





NOTES

1. PROPERTY IS LOCATED IN FLOOD ZONE "X" ACCORDING TO F.E.M.A. F.I.P.M. PANEL 45015C 0585 E & 0615 E DATED DECEMBER 7, 2018.
2. PROPERTY IS ZONED GOOSE CREEK PD.
3. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
4. HORIZONTAL DATUM IS BASED ON NAD 1983.
5. VERTICAL ELEVATIONS ARE BASED ON 1988 MVD DATUM.
6. T.M.S. # 235-00-00-085 CONTAINS 8.64 ACRES, OR 376,480.97 SQ. FT. THE AREA WAS DETERMINED BY THE COORDINATE METHOD.
7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE LLC.
8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
10. SEWER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-066
TRACT E2-B4

PARCEL A1
376,480.97 SQ. FT. (TOTAL)
8.64 ACRES (TOTAL)

LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-083
PARCEL A2

HAROLD NIELSON, PE & PLS
CIVIL ENGINEERS - LAND SURVEYORS
2724 MAGNOLIA WOODS DRIVE, MT. PLEASANT, SC 29464
PHONE: 843-276-1378 EMAIL: nielson.h@gmail.com
WEB ADDRESS: www.floodelevationsurveyors.com

LEGEND

- SSHW-SANITARY SEWER MH
- UNDERGROUND GAS LINE
- BELLSOUTH US COMMUNICATIONS
- BELLSOUTH PHONE PEDESTAL
- P/P (POWER POLE) - DOMINION
- LP-LIGHT POLE
- Q/W WIRE
- W-WATER METER
- W-WATER VALVE
- FH (FIRE HYDRANT)
- OH/P OVERHEAD POWER
- 3/4" REBARS
- FIBER OPTIC (FO) BOX
- J.B.-JUNCTION BOX
- SMH SEWER MAN-HOLE
- RCP REINFORCED CONCRETE PIPE
- I.E. INVERT ELEVATION

PLAT REFERENCES

1. PLAT BOOK N PAGE 344H..
2. PLAT BOOK S PAGE 063I.

C.I. OF C.I.I

**BOUNDARY, TOPOGRAPHIC
& TREE SURVEY OF
PARCEL A1, T.M.S. # 235-00-00-065
HENRY E. BROWN, JR. BLVD.
CONTAINING 8.64 ACRES**

LOCATED IN THE TOWN OF GOOSE CREEK
BERKELEY COUNTY, SOUTH CAROLINA

SCALE: 1" = 50'

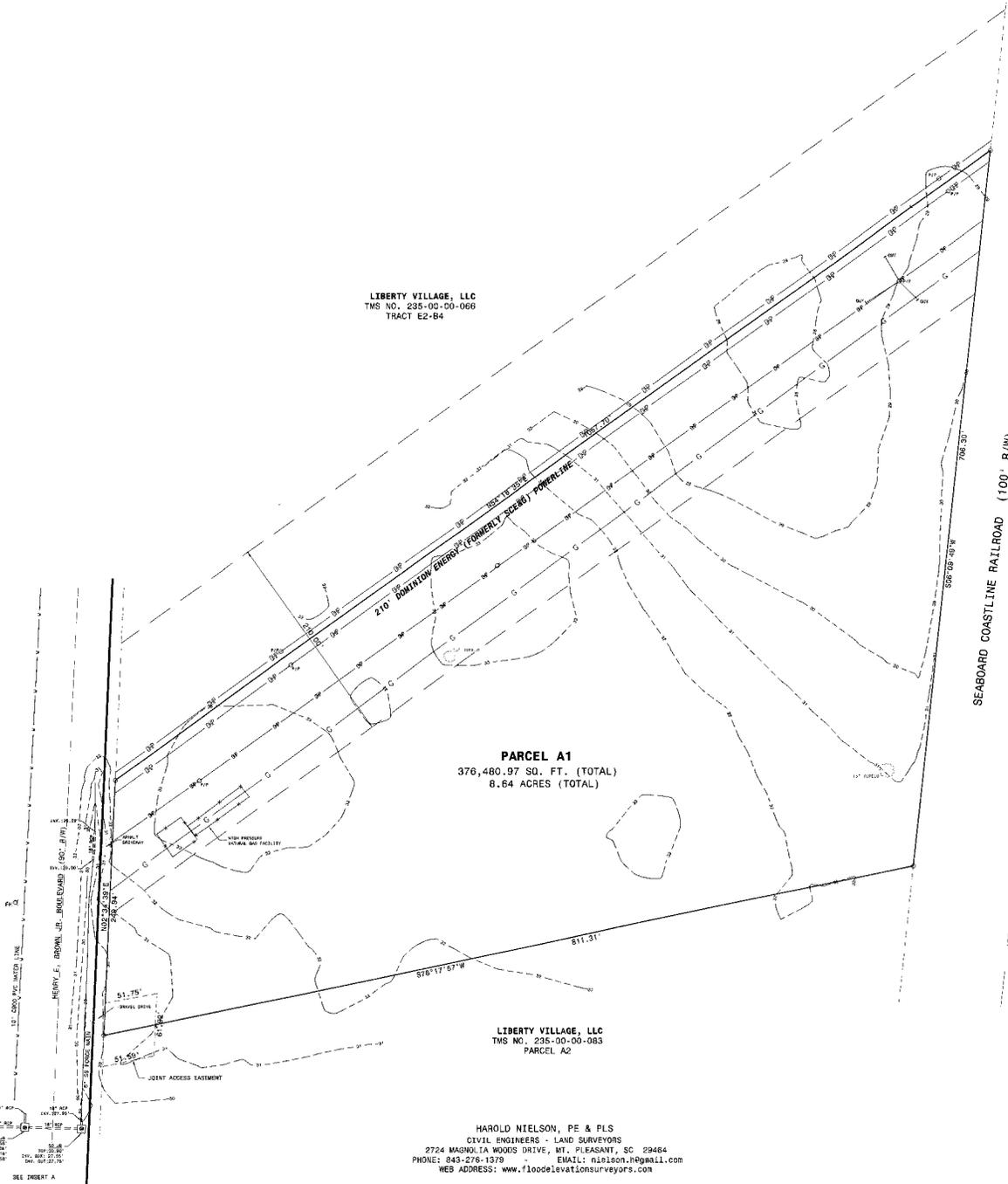
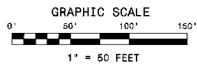
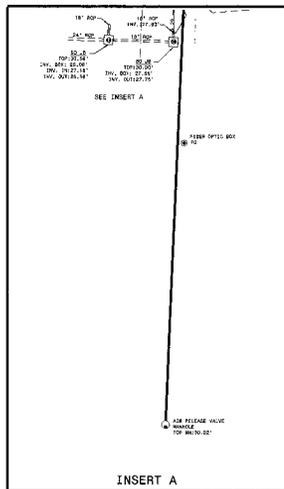
JULY 22, 2019

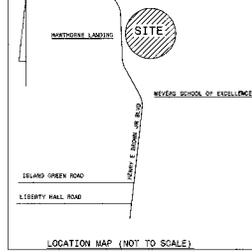
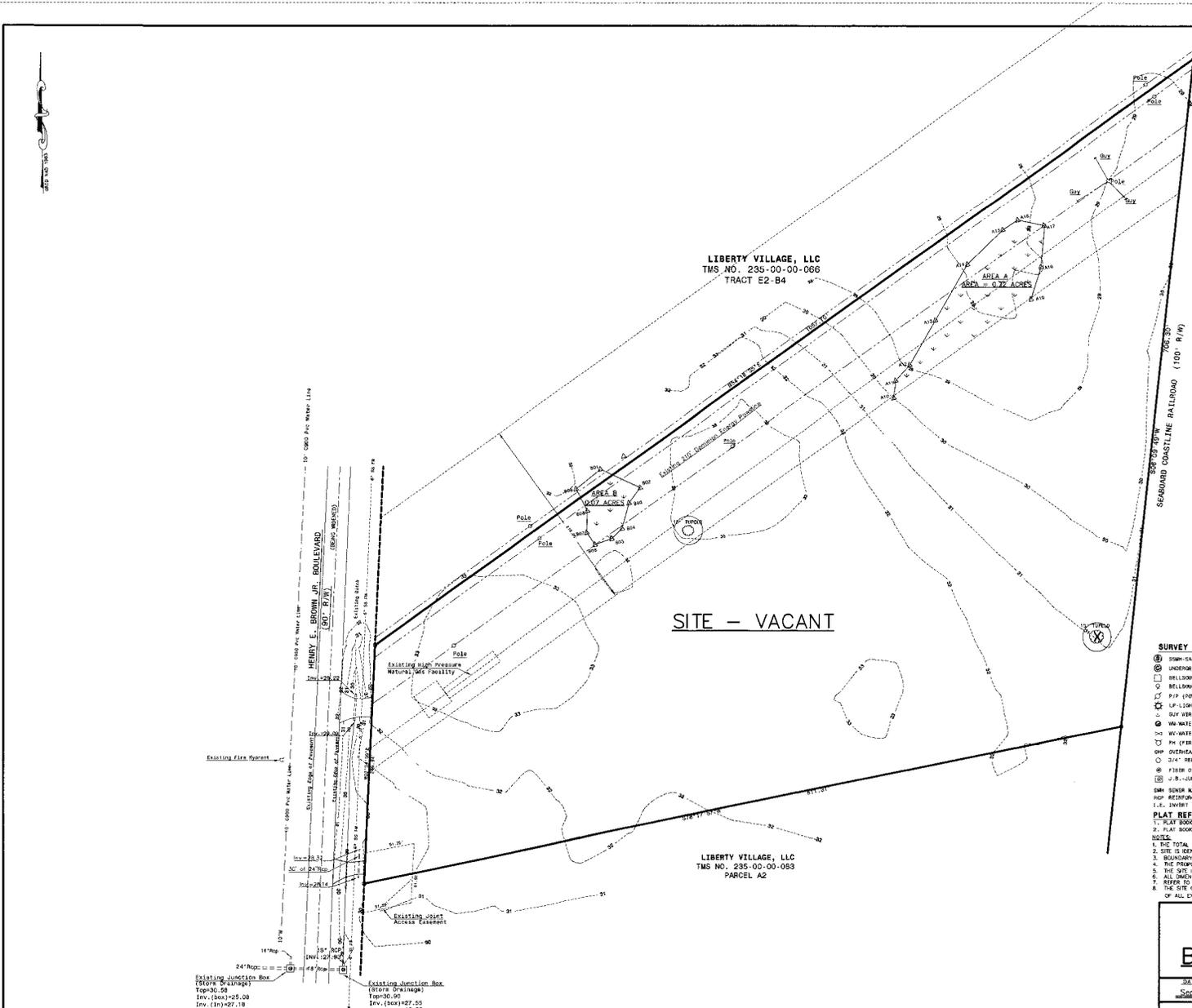
I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED HEREIN.

Harold Nielson
HAROLD NIELSON, PE & PLS S.C. NO. 7023

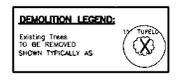


C.I





SEE SWPPP PLAN FOR LOCATIONS OF ALL TREE PROTECTION MEASURES AND SILT FENCING LOCATIONS. ALL MEASURES MUST BE INSTALLED, INSPECTED AND APPROVED BY CITY STAFF PRIOR TO CONSTRUCTION. SEE SWPPP FOR ALL LOCATIONS, DETAILS, ETC.



- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL VERIFY ALL ITEMS TO BE DEMOLISHED AND REMOVED FROM THE PROJECT SITE. THE VERIFICATION PROCESS SHALL INCLUDE MEASUREMENTS TO MEASURE THE SIZE. ALL ITEMS REQUIRING DEMOLITION/REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 2. THE ENTIRE PROJECT SITE SHALL BE CLEANED AND GRUBBED BY THE CONTRACTOR AS REQUIRED TO COMPLETE THE CONSTRUCTION AS SHOWN ON THE ACCOMPANYING PLANS. HOWEVER, EXISTING TREES TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR AND SHALL NOT BE REMOVED UNLESS INSTRUCTED BY THE PLANS.
 3. THERE SHALL BE NO BURNING ON SITE UNLESS THE CITY OF GOOSE CREEK APPROVES AND PERMITS BURNING. IF IT IS NECESSARY, THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS IF NECESSARY.
 4. ALL EXISTING STRUCTURES AND RELATED FOOTINGS, FOUNDATIONS, STEPS, SETS, ETC. TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF ACCORDING TO APPLICABLE REGULATIONS.
 5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL AND/OR RELOCATION OF ALL UTILITIES (ABOVE AND BELOW GROUND LEVEL) AS NECESSARY TO FACILITATE CONSTRUCTION.
 6. EXISTING SEPTIC TANKS/SEPTIC TRENCHES, UNDERGROUND TANKS, IF ENCOUNTERED ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF ACCORDING TO APPLICABLE CODES. THE LOCATION OF THE TANKS SHALL BE RECORDED AND THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED AT ONCE.
 7. WELLS, IF ENCOUNTERED, SHALL BE ACCURATELY LOCATED BY THE CONTRACTOR AND THE SURROUNDING AREA SHALL BE BARRICADED AND SIGNS SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF CANNOT ENTER THE WELL OPENING. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT ONCE.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORS.
 9. THE CONTRACTOR SHALL CONSULT THE OWNER REGARDING SAVINGS AND ITEMS NOT RETAINED BY THE OWNER SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMOLISH AND/OR LEGALLY DISPOSE OF.
 10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
 11. IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE AGENCIES FOR PROPER REMOVAL AND DISPOSAL.
 12. DEMOLITION SHALL MEET ALL APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS.

- SURVEY LEGEND**
- ① 300M-SANITARY SEWER W/ UNDERGROUND GAS LINE
 - BELLWORTH OR COMMUNICATIONS
 - BELLWORTH PHONE PROTECTAL
 - P.P. (POWER POLE) - DOMINION
 - LP-150HT POLE
 - 50\"/>

- SURVEY NOTES**
1. PROPERTY IS LOCATED IN FLOOD ZONE 'X' ACCORDING TO F.E.W.A. F.I.R.M. PANEL 450150 0595 E & 0516 E DATED DECEMBER 7, 2016.
 2. PROPERTY IS ZONED GOOSE CREEK PD.
 3. THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE ISSUED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
 4. HORIZONTAL DATUM IS BASED ON NAD 1983.
 5. VERTICAL ELEVATIONS ARE BASED ON 1988 NAVD DATUM.
 6. T.M.S. # 235-00-00-068 CONTAINS 8.64 ACRES, OR 376,480.97 SQ. FT. THE AREA WAS DETERMINED BY THE COORDINATE METHOD.
 7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE LLC.
 8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
 9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
 10. REFER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

- PLAT REFERENCES**
1. PLAT BOOK # PAGE 3441..
 2. PLAT BOOK # PAGE 3833..
- NOTES:**
1. THE TOTAL AREA OF SITE IS 8.68 ACRES AND IS ZONED DC.
 2. SITE IS IDENTIFIED AS PARCEL A1 AND IS IDENTIFIED AS TMS 235-00-00-068.
 3. BOUNDARY AND TOPOGRAPIHICAL SURVEYS BY NELSON AND ASSOCIATES, INC.
 4. THE PROPOSED DEVELOPMENT IS A SELF STORAGE FACILITY.
 5. THE SITE IS PRESENTLY VACANT.
 6. ALL DIMENSIONS ARE TO THE FACE OF ASPHALT UNLESS OTHERWISE NOTED.
 7. REFER TO PLANNING SUBMITTALS FOR FINAL SITES AND COAST.
 8. THE SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BORE!!!
PALMETTO UTILITY PROTECTION SERVICE
SOUTH CAROLINA PUPS



EXISTING UTILITIES:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE KEY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

DEMOLITION PLAN
PREPARED FOR
BRICKHOPE SELF STORAGE
CITY OF GOOSE CREEK, SOUTH CAROLINA

Date: September 12, 2022 Scale: 1" = 50'

McCORMICK and ASSOCIATES OF S.C., INC.
CIVIL ENGINEERS
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
(843) 971-3646 Office (843) 891-7532 Fax mccormickassoc@bellsouth.net

Project No: 571 Drawing No. CL of CIV

FINAL DRB
PROFESSIONAL ENGINEER
NO. 19496



LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-066
TRACT E2-B4

LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-089
PARCEL A2

PARKING BREAKDOWNS:
3680 SQFT OFFICE @ 150'/300SQFT = 12 REQUIRED
PARKING PROVIDED = 18 SHOWN
PARKING AT VARIABLE WIDTHS = 61
(FOR MULTISIZE SPACES)

PUD DEVELOPMENT REQUIREMENTS
LOT COVERAGE = 22% PROVIDED
TOTAL AREA OF SITE = 376,480 SQFT
MAX 40% PER PUD = 150,592 SQFT MAX ALLOWED
FIRST FLOOR BUILDING = 80,884 SQFT
FRONT SETBACK = 20'
SIDE SETBACK = 15' OFF POWER EASEMENT
MAX HEIGHT = 40'
14% INTERIOR LANDSCAPE REQUIREMENT:
INTERIOR PARKING AREA = 71,559 SQFT X 0.14 =
10,018 SQFT REQUIRED
13,977 SQFT PROVIDED (EXCEEDS 10,018 SQFT)

PAVING MATERIALS LEGEND:

STANDARD DUTY ASPHALT CONCRETE SHOWN TYPICALLY AS SEE DETAIL SHEET FOR CROSS SECTION	HEAVY DUTY ASPHALT CONCRETE SHOWN TYPICALLY AS SEE DETAIL SHEET FOR CROSS SECTION
PORTLAND CEMENT CONCRETE SHOWN TYPICALLY AS SEE BUILDING PLANS FOR CROSS SECTION	PORTLAND CEMENT CONCRETE WITH 2% SLOPE

- NOTES REGARDING PARKING LOT STRIPING:**
- 1) ALL PARKING LOT STRIPING SHALL BE PERFORMED BY THE CONTRACTOR USING WHITE TRAFFIC MARKING PAINT UNLESS NOTED OTHERWISE BELOW. PAINT SHALL BE SHIMMERS-GLASS "TRIO-WAY" TRAFFIC MARKING PAINT OF GLENN WHITE PAINT AND SHALL BE APPLIED IN THE COUP'S AND IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - 2) ITEMS TO BE PAINTED WHITE INCLUDE: PARKING STALLS, DIRECTIONAL ARROWS OF SIDE AND PROTECTIVE CHAINS POSTS BEYOND (5) FEET OF THE BUILDING.
 - 3) ITEMS REQUIRING YELLOW PAINT INCLUDE: BASED BANDS AND/OR MEDIANS; ALL STOPPING PROTECTIVE CHAINS POSTS BEYOND (5) FEET OF THE BUILDING; STEEL PIPE BASE OF HANDICAP PARKING SIGNS; HANDICAP RAMPS.
 - 4) ITEMS REQUIRING BLUE PAINT INCLUDE: HANDICAP PARKING STALLS AND SYMBOLS; ALL STRIPPED ISLANDS ADJACENT TO HANDICAP PARKING SPACES.
 - 5) SEE ARCHITECTURAL PLANS FOR ADDITIONAL STRIPING REQUIREMENTS.
 - 6) THE CONTRACTOR SHALL FURNISH AND INSTALL "HANDICAPPED PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOLS. ALL HANDICAPPED PARKING SPACES SHALL BE 17'-0" X 0.80 ALUMINUM WITH BASED ENAMEL FINISH. SIGNS SHALL HAVE WHITE LETTERING ON BLUE BACKGROUND, WITH INSTALLATION AS SHOWN ON THE DETAIL SHEET. SIGNS SHALL CONFORM TO FEDERAL HIGHWAY ADMINISTRATION AND/OR SOUTH CAROLINA REQUIREMENTS. INCLUDE "VAN ACCESSIBLE" SIGNAGE WHERE APPLICABLE.

ALL PARKING LOT DIMENSIONS ARE TO THE FACE (PARKING LOT SIDE) OF CURB EDGE OF DRIVEWAY OR EDGE OF ASPHALT UNLESS OTHERWISE NOTED. THE BLDG FOOTPRINT HAS BEEN PROVIDED BY THE ARCHITECT AND ALL BUILDING DIMENSIONS MUST BE VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL STAKING REQUIRED TO FACILITATE CONSTRUCTION.

- SURVEY LEGEND**
- 1. SANITARY SEWER 14"
 - 2. UNDERGROUND GAS LINE
 - 3. BELLBOOTH NO. COMMUNICATIONS
 - 4. BELLBOOTH PHONE FIBER OPTIC
 - 5. P/P (POWER POLE) - DOMINION
 - 6. LP-LIGHT POLE
 - 7. 24" WIRE
 - 8. WATER METER
 - 9. 4" WATER VALVE
 - 10. FM (FIRE HYDRANT)
 - 11. OVERHEAD POWER
 - 12. 3/4" REBAR
 - 13. FIBER OPTIC (FO) BOX
 - 14. J-B - JUNCTION BOX
 - 15. SEWER MANHOLE
 - 16. REINFORCED CONCRETE PIPE
 - 17. E.E. INVERT ELEVATION

- PLAT REFERENCES**
1. PLAT BOOK "N" PAGE 3441..
 2. PLAT BOOK "S" PAGE 3831..
- NOTES:**
1. THE TOTAL AREA OF SITE IS 868 ACRES AND IS ZONED DC.
 2. SITE IS IDENTIFIED AS PARCEL A2 AND IS IDENTIFIED AS TMS 235-00-00-066.
 3. BOUNDARY AND TOPOGRAPHICAL SURVEYS BY NELSON AND ASSOCIATES, INC.
 4. THE PROPOSED DEVELOPMENT IS A SELF STORAGE FACILITY.
 5. THE SITE IS PRELIMINARY PLANNING.
 6. ALL DIMENSIONS ARE TO THE FACE OF ASPHALT UNLESS OTHERWISE NOTED.
 7. REFER TO PARKING SUMMARY FOR SIGNAL SIZES AND COUNTS.
 8. THE SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 9. WATER PROVIDED BY TOWN OF BOOSE CREEK.
 10. SEWER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

SITE PLAN

PREPARED FOR
BRICKHOPE SELF STORAGE

CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022 Scale: 1" = 50'

McCORMICK and ASSOCIATES OF S.C., INC.

1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
(843) 971-3646 Office (843) 881-7532 Fax mccormickassocia@bellsouth.net

Project No: 571 Drawing No. C3 of 414



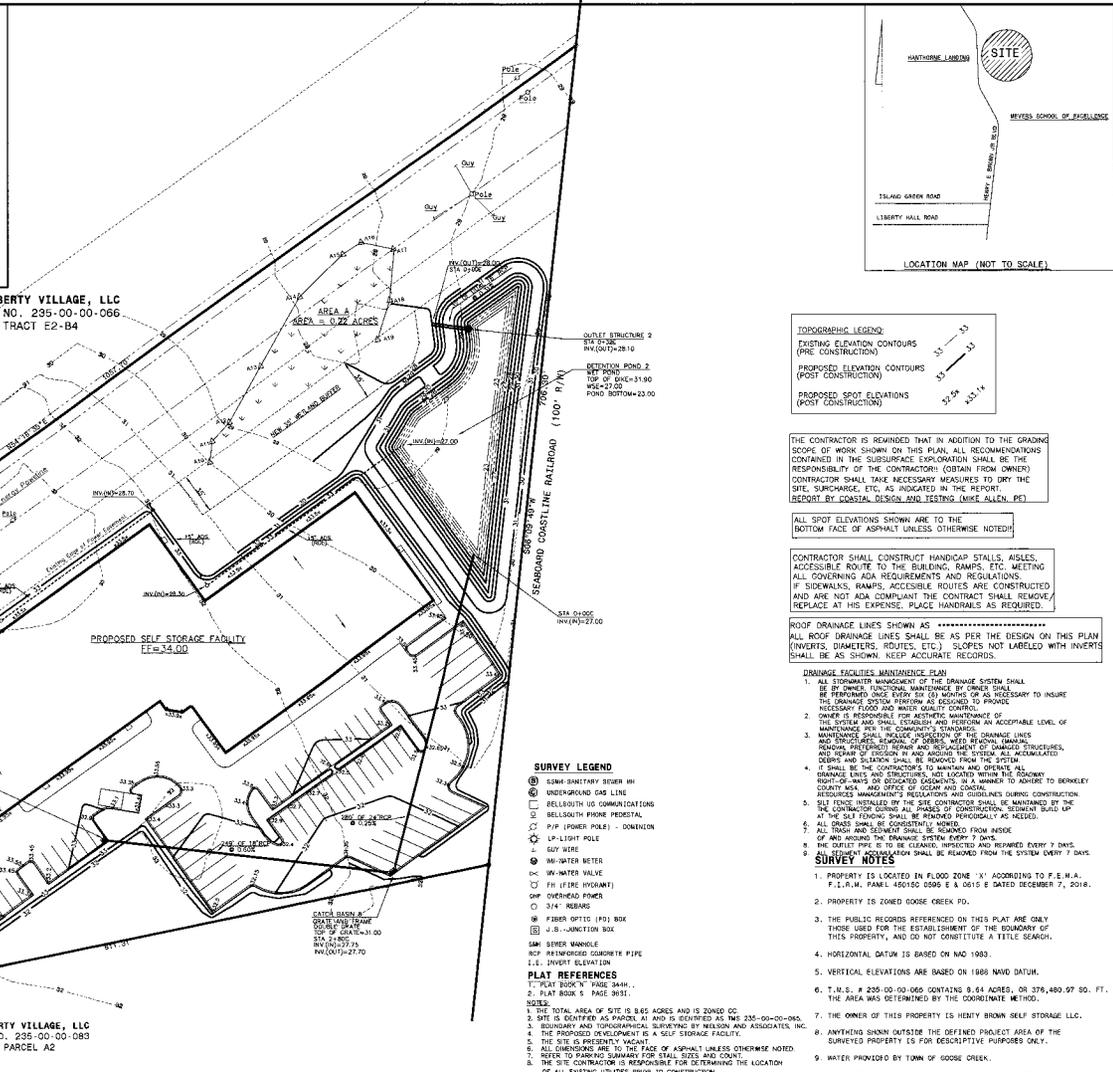
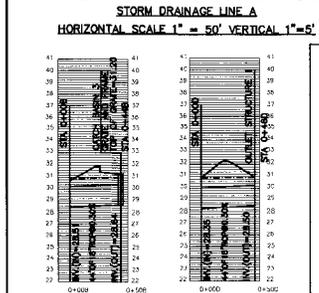
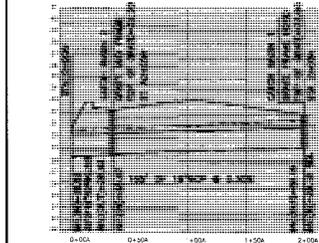
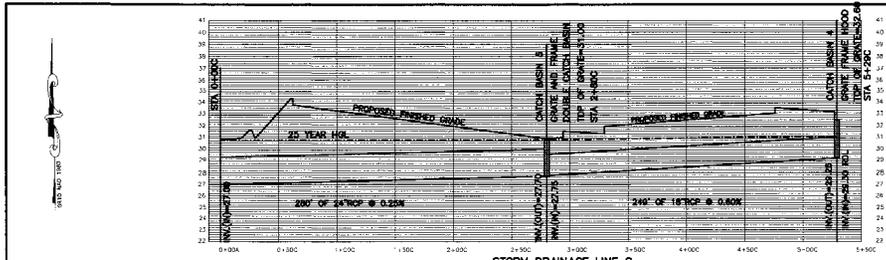
FINAL DRB
PROFESSIONAL ENGINEER
NO. 19486

CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BORE!
PALMETTO UTILITY PROTECTION SERVICE
SOUTH CAROLINA PUPS



WARNING: UNLAWFUL!
THE LOCATION OF EXISTING UTILITIES ARE SHOWN BY AN APPROXIMATE MAP ONLY AND HAVE NOT BEEN INDIVIDUALLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXPLICITLY LOCATE AND RECORD ANY AND ALL UNDERGROUND UTILITIES.

Revision	No.	Date	Description	By	For
1	1				



CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BOREHILL
PALMETTO UTILITY PROTECTION SERVICE
SOUTH CAROLINA PUPS

Know where you dig. Call before you dig.

EXISTING UTILITIES:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN RECORDED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXERCISE CARE AND PRECAUTION AND ANY AND ALL UNDERGROUND UTILITIES.

GRADING, STORM DRAINAGE PLAN AND PROFILES

PREPARED FOR
BRICKHOPE SELF STORAGE
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022 Scale: 1" = 50'

McCORMICK and ASSOCIATES OF S.C., INC.
SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER
No. 002217

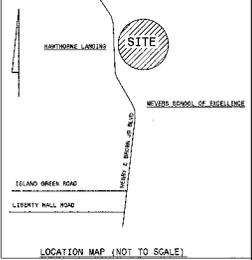
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29484
(843) 971-3646 Office (843) 881-7532 Fax mccormickassocia@southcarolina.com

Project No: 571 Drawing No: C-4 of C-4

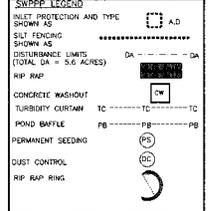
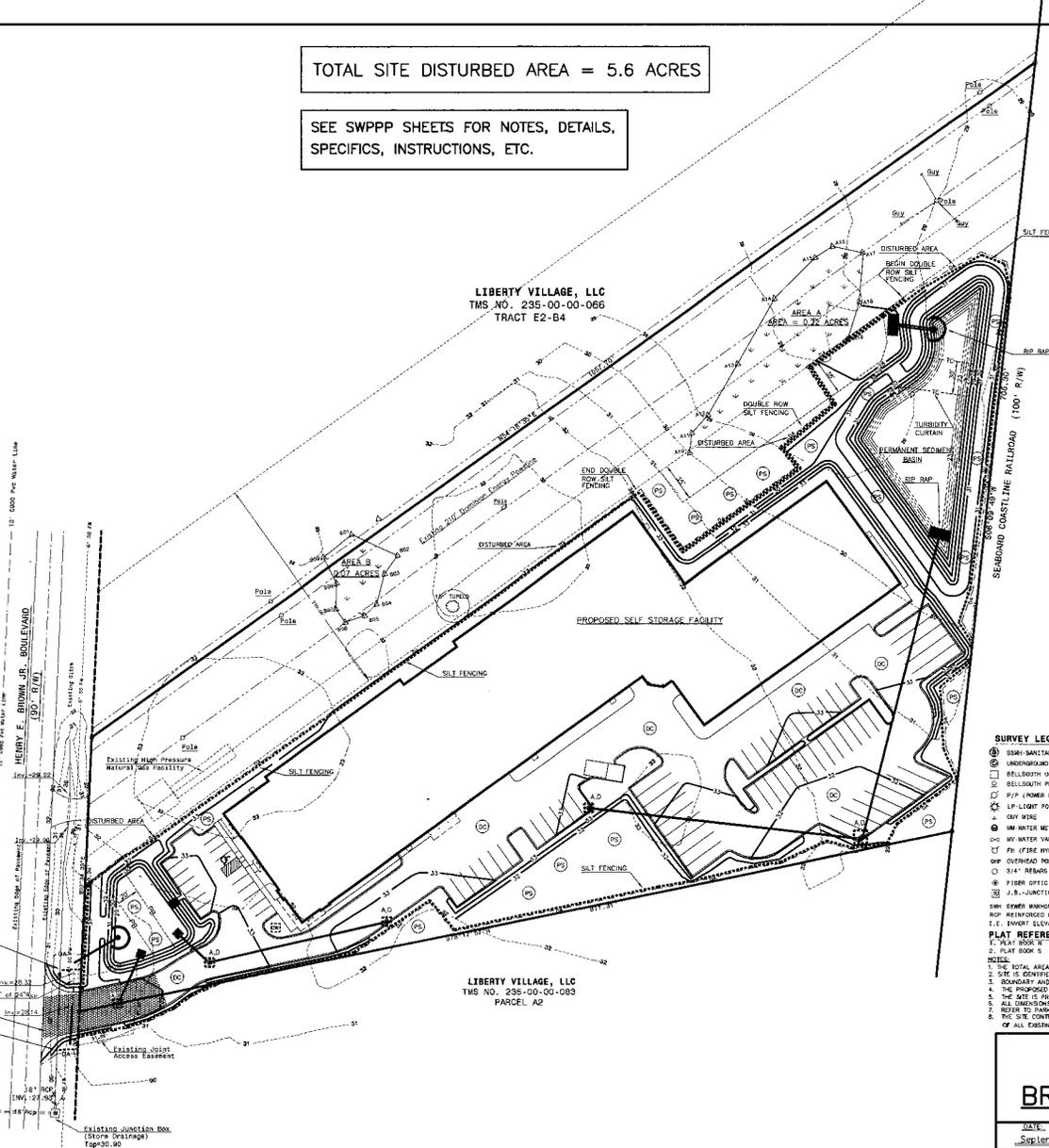
FINAL DRB
PROFESSIONAL ENGINEER
NO. 19486

TOTAL SITE DISTURBED AREA = 5.6 ACRES

SEE SWPPP SHEETS FOR NOTES, DETAILS, SPECIFICS, INSTRUCTIONS, ETC.



- EROSION AND SEDIMENT CONTROL MEASURES**
(SEE SWPPP SHEETS FOR NOTES, DETAILS, ETC.)
1. IF NECESSARY, SLOPES WHOSE EXISTING VEGETATION SHOULD BE MAINTAINED WITH EROSION CONTROL MEASURES TO STABILIZE TOPOGRAPHY. IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL MEASURES TO STABILIZE TOPOGRAPHY. IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL MEASURES TO STABILIZE TOPOGRAPHY. IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL MEASURES TO STABILIZE TOPOGRAPHY.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED ON ALL EXPOSED SOILS ON THE PORTION OF THE SITE.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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 18. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 19. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 20. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



- SURVEY NOTES**
1. PROPERTY IS LOCATED IN FLOOD ZONE 'X' ACCORDING TO F.E.M.A. F.I.R.M. PANEL 43019C 0595 E & 0615 D DATED DECEMBER 7, 2016.
 2. PROPERTY IS ZONED GOOSE CREEK PD.
 3. THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
 4. HORIZONTAL DATUM IS BASED ON NAD 1983.
 5. VERTICAL ELEVATIONS ARE BASED ON 1986 NAVD DATUM.
 6. T.M.S. # 235-00-00-065 CONTAINS 8.64 ACRES, OR 276,487.50 SQ. FT. THE AREA HAS DETERMINED BY THE COORDINATE METHOD.
 7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE LLC.
 8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SITE IS FOR INFORMATION ONLY.
 9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
 10. SEWER SERVICES PROVIDED BY BERNSELY COUNTY WATER & SEWER.

- SURVEY LEGEND**
- 1. SLOPE-BANTRY SEWER LN
 - 2. BELLEFLORE COMMUNICATIONS
 - 3. BELLEFLORE HOME FIBER OPTIC
 - 4. PIP (POWER POLE) - DOWNLINE
 - 5. LP LIGHT POLE
 - 6. 60V BOX
 - 7. 120V WATER METER
 - 8. 120V WATER VALVE
 - 9. 1/2" FIRE HYDRANT
 - 10. 3/4" REBAR
 - 11. FIBER OPTIC (FO) BOX
 - 12. J.B. JUNCTION BOX
 - 13. FIBER BUNDLE
 - 14. RCP REINFORCED CONCRETE PIPE
 - 15. 2" ELEVATION

CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BOREHILL
PALMETTO UTILITY PROTECTION SERVICE
SOUTH CAROLINA TURNS

EXISTING UTILITY LOCATIONS
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND SHOULD NOT BE RELIED UPON. THE EXACT LOCATION OF ALL UTILITIES ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES.



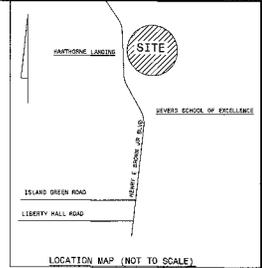
Revision No.	Date	Description	By	App'd
1				

SWPPP
PREPARED FOR
BRICKHOPE SELF STORAGE
CITY OF GOOSE CREEK, SOUTH CAROLINA
DATE: September 12, 2022
Scale: 1" = 50'

McCORMICK and ASSOCIATES OF S.C., INC.
CIVIL ENGINEERS
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
(843) 971-3646 Office (843) 881-7532 Fax mccormickassoc@southnet.net

Project No: 571
Drawing No. 05 of 014

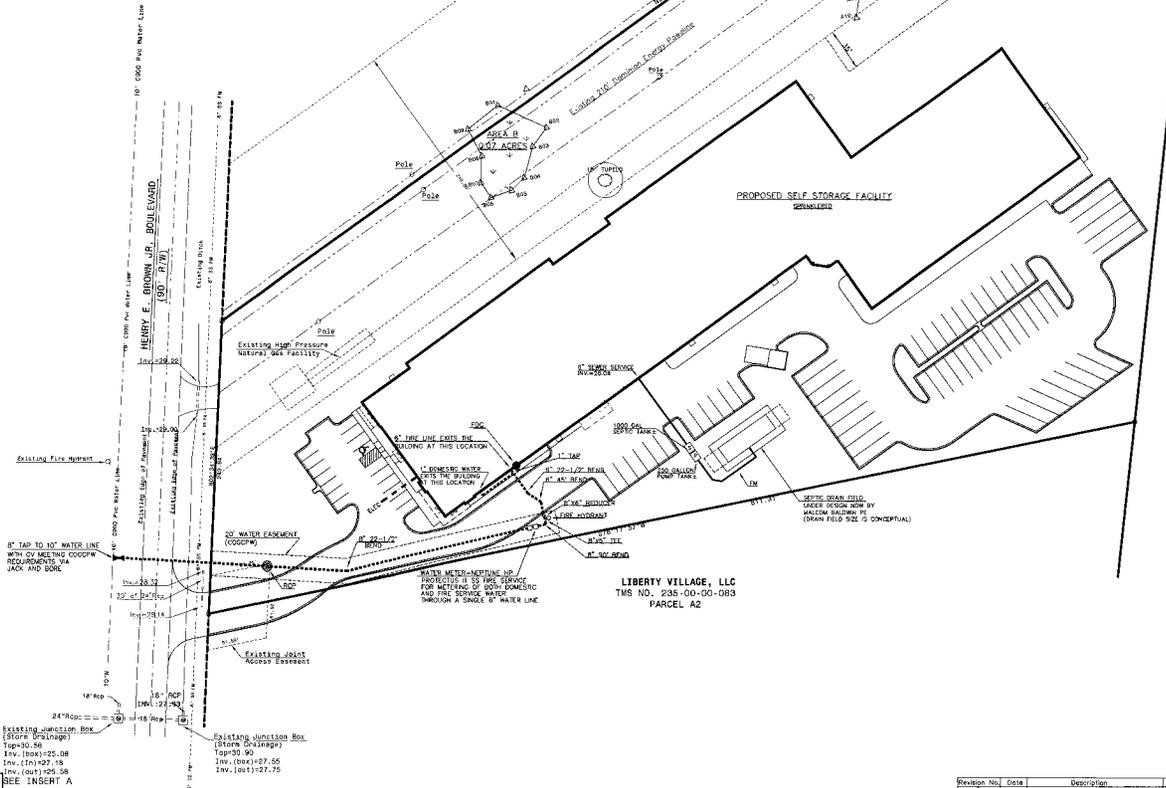




LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-066
TRACT E2-B4

LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-063
PARCEL A2

PROPOSED SELF STORAGE FACILITY



- SURVEY LEGEND**
- ① 3/4\"/>
 - ② UNDERGROUND GAS LINE
 - ③ BELL SOUTH LG COMMUNICATIONS
 - ④ BELL SOUTH PHONE PEDIESTAL
 - ⑤ 3\"/>
 - ⑥ 1\"/>
 - ⑦ 1\"/>
 - ⑧ 1\"/>
 - ⑨ 1\"/>
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- PLAY REFERENCES**
- 1. PLAT BOOK # PAGE 354H.
 - 2. PLAT BOOK # PAGE 353I.
- NOTES**
1. THE TOTAL AREA OF SITE IS 8.65 ACRES AND IS ZONED GC.
 2. SITE IS IDENTIFIED AS PARCEL A1 AND IS LOCATED AS TMS 235-00-00-065.
 3. BOUNDARY AND TOPOGRAPHICAL SURVEYING BY HILSON AND ASSOCIATES, INC.
 4. THE PROPOSED DEVELOPMENT IS A SELF STORAGE FACILITY.
 5. THE SITE IS PRESENTLY VACANT.
 6. ALL DIMENSIONS ARE TO THE FACE OF ASPHALT UNLESS OTHERWISE NOTED.
 7. REFER TO PARKING SUMMARY FOR STALL SIZES AND COUNT.
 8. THE SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
 10. SEWER SERVICES PROVIDED BY BEMLEY COUNTY WATER & SEWER.

UTILITY LIMITS:
PROPOSED WATER LINE: [Symbol]

WATER PROVIDER:
CITY OF GOOSE CREEK PUBLIC WORKS
300 BULTON HALL AVENUE
GOOSE CREEK, SC 29445-1768
CONTACT: CHUCK DENSON 843-824-2200

- SURVEY NOTES**
1. PROPERTY IS LOCATED IN FLOOD ZONE 'X' ACCORDING TO F.E.M.A. F.I.R.M. PANEL 45015C 0095 E & 0815 E DATED DECEMBER 7, 2014.
 2. PROPERTY IS ZONED GOOSE CREEK PD.
 3. THE PUBLIC RECORDS REFERENCED ON THIS PLAN ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
 4. HORIZONTAL DATUM IS BASED ON NAD 1983.
 5. VERTICAL ELEVATIONS ARE BASED ON 1988 NAVD DATUM.
 6. T.M.S. # 235-00-00-065 CONTAINS 8.64 ACRES, OR 379,480.97 SQ. FT. THE AREA HAS DETERMINED BY THE COORDINATE METHOD.
 7. THE OWNER OF THIS PROPERTY IS HENTY BROWN SELF STORAGE LLC.
 8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
 9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
 10. SEWER SERVICES PROVIDED BY BEMLEY COUNTY WATER & SEWER.

CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BORE!!!
PALMETTO UTILITY PROTECTION SERVICE
SOUTH CAROLINA PUPS



EXISTING UTILITY NOTES:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE ONLY ONLY AND HAVE NOT BEEN INDICATED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

Revision No.	Date	Description	By	App'd

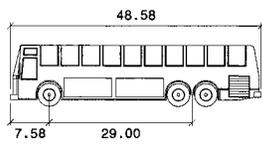
WATER and SANITARY SEWER PLAN
PREPARED FOR
BRICKHOPE SELF STORAGE
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022 Scale: 1"= 50'

McCORMICK and ASSOCIATES OF S.C., INC.
CIVIL ENGINEERS
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
(843) 971-3646 Office (843) 881-7532 Fax mccormickassoc@bellsouth.net

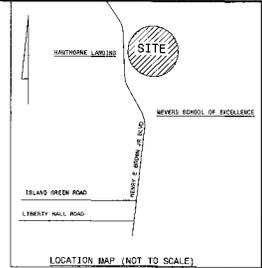
Project No: 571 Drawing No. 66 of 67





Motorcoach

- Width : 8.50
- Track : 8.50
- Lock to Lock Time : 6.0
- Steering Angle : 47.9



LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-066
TRACT E2-B4

PROPOSED SELF STORAGE FACILITY

LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-063
PARCEL A2

- SURVEY LEGEND**
- ⊙ 3/4" GALV STEEL MH
 - ⊖ UNDERGROUND GAS LINE
 - ⊖ BELLSOUTH CO COMMUNICATIONS
 - ⊖ BELLSOUTH HOME FIBERGLASS
 - ⊖ P/P (POWER POLE) - DOMINION
 - ⊖ LF-LIGHT POLE
 - ⊖ 6" GALV WIRE
 - ⊖ 1/2" GALV WIRE
 - ⊖ 1/2" WATER METER
 - ⊖ 1/2" WATER VALVE
 - ⊖ FT (FIRE HYDRANT)
 - ⊖ 6" DP (DRAINAGE PUMP)
 - ⊖ 3/4" REBAR
 - ⊖ FIBER OPTIC (FO) BOX
 - ⊖ J.B. JUNCTION BOX
 - ⊖ 3/4" SDR WIRE
 - ⊖ 3/4" REINFORCED CONCRETE PIPE
 - ⊖ 3/4" REINFORCED CONCRETE PIPE
 - ⊖ 3/4" REINFORCED CONCRETE PIPE
- PLAY REFERENCES**
- 1. PLAT BOOK 5, PAGE 364H.
 - 2. PLAT BOOK 5, PAGE 363I.

- SURVEY NOTES**
1. PROPERTY IS LOCATED IN FLOOD ZONE 'X' ACCORDING TO F.E.M.A. F.I.R.N. PANEL 45045C 0595 E & 0510 E DATED DECEMBER 7, 2016.
 2. PROPERTY IS ZONED GOOSE CREEK PD.
 3. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY, AND DO NOT CONSTITUTE A TITLE SEARCH.
 4. HORIZONTAL DATUM IS BASED ON NAD 1983.
 5. VERTICAL ELEVATIONS ARE BASED ON NAD 1989 DATUM.
 6. T.M.S. # 235-00-00-066 CONTAINS 8.64 ACRES, OR 376,480.97 SQ. FT. THE AREA WAS DETERMINED BY THE COORDINATE METHOD.
 7. THE OWNER OF THIS PROPERTY IS HENRY BROWN SELF STORAGE, LLC.
 8. ANYTHING SHOWN OUTSIDE THE DEFINED PROJECT AREA OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
 9. WATER PROVIDED BY TOWN OF GOOSE CREEK.
 10. SEWER SERVICES PROVIDED BY BERKELEY COUNTY WATER & SEWER.

TRUCK ROUTING PLAN
PREPARED FOR
BRICKHOPE SELF STORAGE
CITY OF GOOSE CREEK, SOUTH CAROLINA

Date: September 12, 2022 Scale: 1" = 50'

McCORMICK and ASSOCIATES OF S.C., INC.
CIVIL ENGINEERS
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
(843) 971-3646 Office (843) 881-7532 Fax mccormickassoc@southnet

Project No. 571 Drawing No. C7 of C14

SOUTH CAROLINA
Professional Engineer
No. 002217
19486

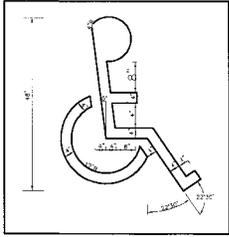
SOUTH CAROLINA
Professional Engineer
No. 19486
FINAL DRB
PROFESSIONAL ENGINEER
No. 19486

CALL 3 WORKING DAYS BEFORE YOU DIG, DRILL, BLAST OR BORE!!!
PALMETTO UTILITY PROTECTION SERVICE
SOUTH CAROLINA PLUPS



811
Call before you dig.
The location of overhead and underground utilities are shown as an approximation. They may not have any depth independently indicated by the owner or its representative. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL UTILITIES THROUGH THE COMPANY'S ANY WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

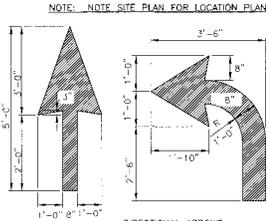
Barcode No.	Date	Description	By	For



**PAINTED ADA HANDICAP SYMBOL
(PAINTED ON PAVEMENT)**
NOT TO SCALE

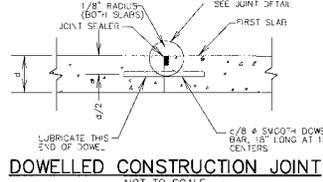
PAINTING REQUIREMENTS:

1. HANDICAP SYMBOL, SHALL BE PAINTED WHITE OR BLUE.
2. PAINT SHALL BE TYPE 1 CONFORMING TO FEDERAL SPECIFICATIONS TT-P-115E. SEE SPECIFICATIONS FOR THIS PROJECT FOR ADDITIONAL INFORMATION.
3. ALL PAVEMENT MARKINGS TO BE YELLOW UNLESS OTHERWISE DICTATED BY CODE.

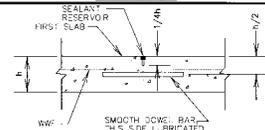


TYPICAL PAVEMENT MARKINGS:
NOT TO SCALE

- NOTE: ALL MARKINGS SHALL BE WHITE THERMOPLASTIC PAINT
1. MUST BE MUTCO COMPLIANT.
 2. MUTCO R3-BL.



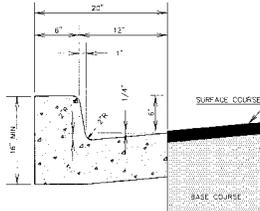
DOWELLED CONSTRUCTION JOINT
NOT TO SCALE



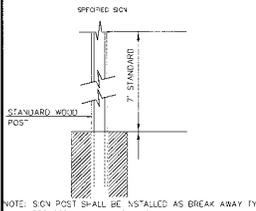
CONTRACTION JOINT
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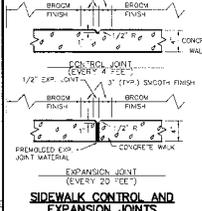
- NOTES:
1. MARKINGS SHALL BE THERMOPLASTIC MEETING CITY OF GOOSE CREEK REQUIREMENTS
- 24" STOP BAR**
NOT TO SCALE



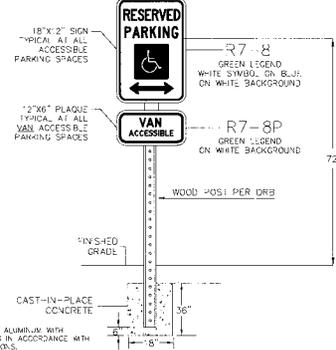
18" 'L' TYPE CURB AND GUTTER
NOT TO SCALE



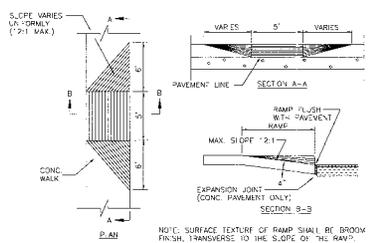
POST DETAIL
NOT TO SCALE



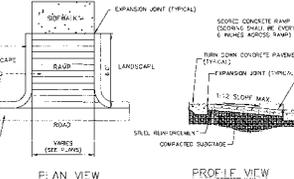
SIDEWALK CONTROL AND EXPANSION JOINTS
NOT TO SCALE



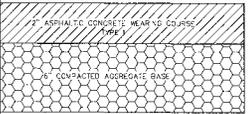
ACCESSIBLE PARKING SIGN



SIDEWALK ACCESS RAMP
(NOT TO SCALE)

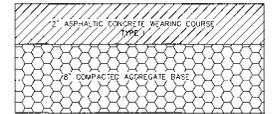


SIDEWALK ACCESS RAMP
(NOT TO SCALE)



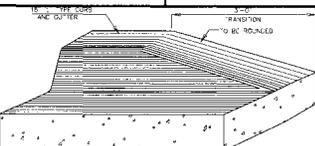
STANDARD DUTY PAVING SECTION
NOT TO SCALE

- (VERIFY SECTION WITH GEOTECHNICAL ENGINEER PRIOR TO POURING) (VERIFY WITH SPECIFICATIONS)
1. AGGREGATE BASE COURSE WILL BE SOHD TYPE 1 GABC SECTION 309 PAGE 209 OF SDDOT SPECS.

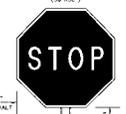


HEAVY DUTY PAVING SECTION
NOT TO SCALE

- (VERIFY SECTION WITH GEOTECHNICAL ENGINEER PRIOR TO POURING) (VERIFY WITH SPECIFICATIONS)
1. AGGREGATE BASE COURSE WILL BE SOHD TYPE 1 GABC SECTION 309 PAGE 209 OF SDDOT SPECS.

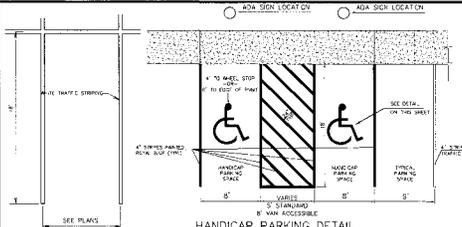


CURB AND GUTTER FEATHER
NOT TO SCALE



STOP SIGN
NOT TO SCALE

- NOTE: ALL TRAFFIC CONTROL DEVICES WILL BE TO MUTCO (MANUAL OR ELECTRONIC TRAFFIC CONTROL DEVICES); STANDARD BACKGROUND; SEE - REFLECTORIZED LEGEND AND BONDING WHITE - REFLECTORIZED
- STOP SIGN PER SDDOT SPECS AND BE MUTCO COMPLIANT.
- SEE SDDOT DRAWINGS 650-100-00 (MAY 2000) AND 651-115-01 (MAY 2000) FOR SPECIFICATIONS.
- SEE MUTCO REF R1-1-30 (R1-1, 10/93C)



HANDICAP PARKING DETAIL
NOT TO SCALE

TYPICAL PARKING SPACE
NOT TO SCALE

Revision No.	Date	Description	By	CHK
1				

SITE DETAILS

PREPARED FOR
BRICKHOPE SELF STORAGE
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022

McCORMICK and ASSOCIATES OF S.C., INC.
CIVIL ENGINEERS
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
(843) 971-3646 Office (843) 881-7532 Fax mcco@mcassocia.com

Project No: 571 Drawing No: CD of 4/4

SOUTH CAROLINA
McCormick and Associates
of S.C., Inc.
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12/31/2027

SOUTH CAROLINA
McCormick and Associates
of S.C., Inc.
REGISTERED PROFESSIONAL ENGINEER
NO 19486
EXPIRES 12/31/2027

FINAL DRB
PROFESSIONAL ENGINEER
NO. 19486

FLUXION FABRIC INLET PROTECTION

MATERIALS:
USE FILTER FABRIC THAT CONFORMS TO SCOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (LATEST EDITION) PRIOR TO THE SILT FENCE INSTALLATION. FABRIC APPROX. SHEET #34.

USE SILT POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS:
BE COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM TENSILE STRENGTH BY SILESS PHS HAVE A STANDARD "T" SECTION WITH A NOMINAL FLANGE WIDTH OF 1.38-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES. WEIGHT 1.25 POUNDS PER FOOT (±.8%).
BE PAINTED WITH A WATER BASED BAKED ENAMEL PAINT.

ATTACH FABRIC TO METAL POSTS WITH HEAVY-DUTY PLASTIC TIES.

INSTALLATION:
EXCAVATE A TRENCH 6-INCHES WIDE AND 6-INCHES DEEP AROUND THE OUTSIDE PERIMETER OF THE INLET. PLACE THE FABRIC 6-INCHES AWAY FROM THE TRENCH AND SECURE TO THE TRENCH WITH STAPLES OR WIRE TIES.

EXPOSE THE FILTER FABRIC A MINIMUM OF 12-INCHES INTO THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR CRUSHED GRADE AND COMPACT OVER THE FILTER FABRIC UNLESS THE FABRIC IS PERMANENTLY INSTALLED.

USE STEEL POSTS WITH A MINIMUM POST LENGTH OF 60-INCHES CONSISTING OF STANDARD "T" SECTION WITH A WEIGHT OF 1.25 POUNDS PER FOOT (±.8%). INSTALL THE SILT POSTS WITH A MINIMUM OF 12-INCHES OF EXPOSED LENGTH ABOVE THE GROUND SURFACE. THE SILT POSTS SHOULD BE PLACED AT THE CORNERS OF THE INLET AND A MINIMUM OF 12-INCHES FROM THE END OF THE INLET. THE SILT POSTS SHOULD BE PLACED AT THE CORNERS OF THE INLET AND A MINIMUM OF 12-INCHES FROM THE END OF THE INLET. THE SILT POSTS SHOULD BE PLACED AT THE CORNERS OF THE INLET AND A MINIMUM OF 12-INCHES FROM THE END OF THE INLET.

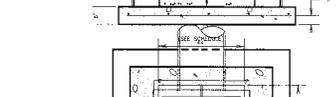
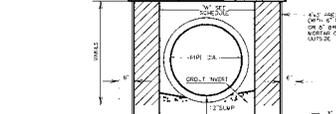
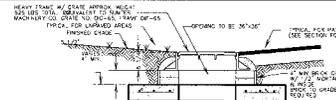
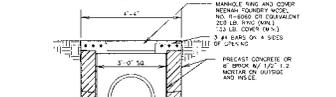
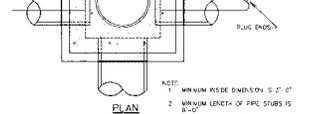
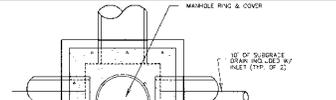
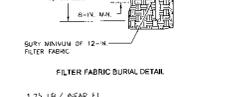
ATTACH FABRIC TO STEEL POSTS WITH HEAVY-DUTY PLASTIC TIES.

ATTACH AT LEAST FOUR (4) HEAVY SPACED TIES IN A MANNER TO PREVENT SAGGING OR FLARING OF THE FABRIC. ALL CORERS WITH TIES IN NO LESS THAN FOUR (4) PLACES.

INSPECTION AND MAINTENANCE:
INSPECTIONS SHOULD BE MADE EVERY 7 CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH STORM THAT PRODUCES 1/8-INCHES OR MORE OF RAIN. IF THE FABRIC BECOMES CLOGGED, IT SHOULD BE REPAIRED. MAINTENANCE SHOULD BE REQUIRED WHEN THE HEIGHT OF THE SEDIMENT ABOVE THE FABRIC EXCEEDS 12-INCHES. THE FABRIC SHOULD BE REPLACED WHEN THE SEDIMENT ABOVE THE FABRIC EXCEEDS 12-INCHES. THE FABRIC SHOULD BE REPLACED WHEN THE SEDIMENT ABOVE THE FABRIC EXCEEDS 12-INCHES.

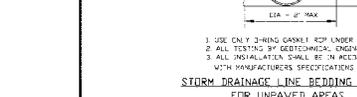
STORM DRAIN INLET PROTECTION STRUCTURES SHOULD BE REMOVED ONLY AT THE DESIGNATED AREAS AND PERMANENTLY STABILIZED PERIOD ALL CONSTRUCTION MATERIALS AND EQUIPMENT AND SUPPORTS TO THEM PROPERLY. MAINTENANCE SHOULD BE REQUIRED WHEN THE HEIGHT OF THE SEDIMENT ABOVE THE FABRIC EXCEEDS 12-INCHES. THE FABRIC SHOULD BE REPLACED WHEN THE SEDIMENT ABOVE THE FABRIC EXCEEDS 12-INCHES.

TYPE A FILTER FABRIC INLET PROTECTION
NOT TO SCALE



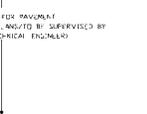
CATCH BASIN DETAIL
NOT TO SCALE

NOTES:
1. FILTER ALL EXPOSED COMPLETE EXPOSED SURFACE TO THE BOTTOM OF THE TRENCH. ALL EXPOSED SURFACE SHALL BE GRADED WITH A MINIMUM OF 1/4" SLOPE TO THE TRENCH. ALL EXPOSED SURFACE SHALL BE GRADED WITH A MINIMUM OF 1/4" SLOPE TO THE TRENCH. ALL EXPOSED SURFACE SHALL BE GRADED WITH A MINIMUM OF 1/4" SLOPE TO THE TRENCH.



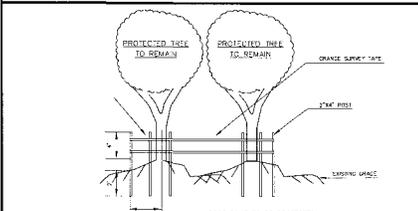
STORM DRAINAGE LINE BEDDING DETAIL FOR UNPAVED AREAS
NOT TO SCALE

NOTES:
1. USE ONLY 1/2-INCH GASKET ROP UNDER ROADS.
2. ALL TESTING BY GEOTECHNICAL ENGINEER.
3. ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



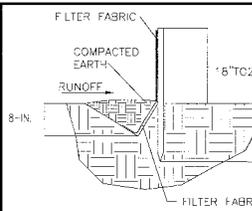
STORM DRAINAGE LINE BEDDING DETAIL FOR PAVED AREAS
NOT TO SCALE

NOTES:
1. USE ONLY 1/2-INCH GASKET ROP UNDER ROADS.
2. ALL TESTING BY GEOTECHNICAL ENGINEER.
3. ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



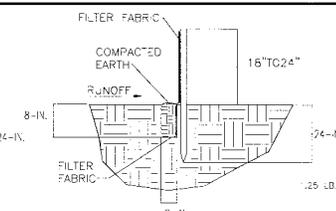
NOTES:
1. ALL TREE PROTECTION BARRICADES MUST HAVE 2 HORIZONTAL CROSS RAILS.
2. BARRICADES SHALL BE EFFECTIVE AT A MINIMUM DISTANCE FROM THE BASE OF PROTECTED TREES AND GRASS TREES ACCORDING TO THE FOLLOWING STANDARDS:
A. FOR PROTECTED TREES 12 INCHES (12") OR LESS DBH (DIAMETER BREAST HEIGHT) PROTECTIVE BARRICADES SHALL BE PLACED AT A MINIMUM DISTANCE OF TEN FEET (10') FROM THE BASE OF EACH PROTECTED TREE.
B. FOR PROTECTED TREES GREATER THAN TEN INCHES (10") AND GRASS TREES PROTECTIVE BARRICADES SHALL PROVIDE A DIAMETER OF PROTECTION AROUND THE TREE EQUAL TO THE DIAMETER BREAST HEIGHT OF THE TREE (E.G. A 24" DIAMETER TREE WOULD REQUIRE A 24 FOOT DIAMETER PROTECTIVE BARRICADE).

CITY OF GOOSE CREEK TREE PROTECTION
NOT TO SCALE



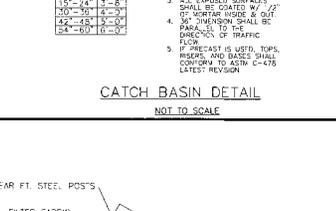
MATERIALS:
STEEL POSTS:
USE 1/2-INCH (1/2") DIA. STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS:
BE COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM TENSILE STRENGTH OF 50,000 PHS. HAVE A STANDARD "T" SECTION WITH A NOMINAL FLANGE WIDTH OF 1.38-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES. WEIGHT 1.25 POUNDS PER FOOT (±.8%).
HAVE A SOL STABILIZATION PLATE WITH A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES ATTACHED TO THE STEEL POSTS.
USE STEEL POSTS WITH A MINIMUM LENGTH OF 4-FEET. WEIGHT 1.25 POUNDS PER LINEAR FOOT (±.8%).
AID IN FASTENING THE FABRIC. EXCEPT WHEN HEAVY CLAY SOILS ARE PRESENT ON SITE, STEEL POSTS WILL HAVE A METAL SOIL STABILIZATION PLATE WELDED NEAR THE BOTTOM SUCH THAT WHEN THE POST IS DRIVEN TO THE PROPER DEPTH, THE PLATE WILL BE BELOW THE GROUND LEVEL FOR ADDED STABILITY.
THE SOIL PLATES SHOULD HAVE THE FOLLOWING CHARACTERISTICS:
BE COMPOSED OF MINIMUM 15 GAUGE STEEL.
HAVE A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES.

V-SHAPED TRENCH DETAIL
NOT TO SCALE



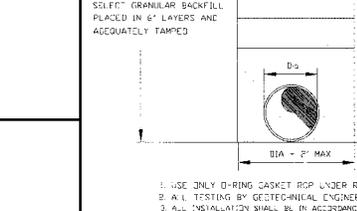
MATERIALS:
STEEL POSTS:
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THE SOIL PLATES SHOULD HAVE THE FOLLOWING CHARACTERISTICS:
BE COMPOSED OF MINIMUM 15 GAUGE STEEL.
HAVE A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES.

FLAT-BOTTOM TRENCH DETAIL
NOT TO SCALE



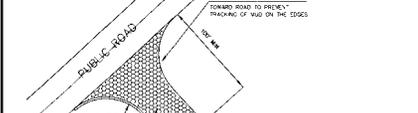
INSTALLATION:
EXCAVATE A TRENCH APPROXIMATELY 6-INCHES WIDE AND 6-INCHES DEEP WHEN PLACING FABRIC BY HAND. PLACE 12-INCHES OF GEOTEXTILE FABRIC INTO THE 6-INCH DEEP TRENCH (EXTENDING THE REMAINING 6-INCHES TOWARDS THE UPDROVE SIDE OF THE TRENCH). THE TRENCH WITH SOIL OR GRAVEL AND COMPACTED TO A MINIMUM OF 12-INCHES OF FABRIC INTO THE GROUND WHEN PERMANENTLY INSTALLING SILT FENCE WITH A SILTING METHOD. FURROW FABRIC IN CONTINUOUS ROLLS AND GO TO THE LENGTH OF THE FENCE TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, OVERLAP THE FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST WITH A 6-INCH MINIMUM OVERLAP. INSTALL POSTS TO A MINIMUM DEPTH OF 24-INCHES. INSTALL POSTS A MINIMUM OF 12-INCHES FROM THE END OF THE INLET. THE SILT POSTS SHOULD BE PLACED AT THE CORNERS OF THE INLET AND A MINIMUM OF 12-INCHES FROM THE END OF THE INLET. THE SILT POSTS SHOULD BE PLACED AT THE CORNERS OF THE INLET AND A MINIMUM OF 12-INCHES FROM THE END OF THE INLET.

SILT FENCE INSTALLATION
NOT TO SCALE



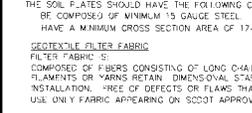
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SILT FENCE DETAIL
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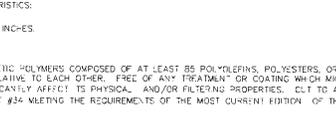
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STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



INSPECTION AND MAINTENANCE:
INSPECT EVERY SEVEN CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/8-INCHES OR MORE OF PRECIPITATION. CHECK FOR SEDIMENT BUILDUP AND FENCE INTEGRITY. CHECK WHERE RUNOFF HAS EXCEEDED A CHANNEL BENEATH THE FENCE OR WHERE THE FENCE HAS SAGGED OR COLLAPSED BY FENCE OVERTOPPING IF THE FENCE FABRIC TEARS, BEGINS TO DISINTEGRATE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE SECTION OF FENCE IMMEDIATELY. REMOVE SEDIMENT ACCUMULATED ALONG THE FENCE WHEN IT REACHES 2/3 THE HEIGHT OF THE FENCE ABOVE GROUND. MAINTENANCE SHOULD BE REQUIRED WHEN THE HEIGHT OF THE SEDIMENT ABOVE THE FABRIC EXCEEDS 12-INCHES. THE FABRIC SHOULD BE REPLACED WHEN THE SEDIMENT ABOVE THE FABRIC EXCEEDS 12-INCHES.

SILT FENCE DETAIL
NOT TO SCALE



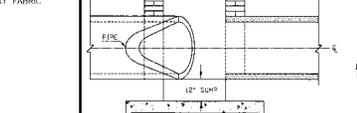
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SILT FENCE DETAIL
NOT TO SCALE



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SILT FENCE DETAIL
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SILT FENCE DETAIL
NOT TO SCALE

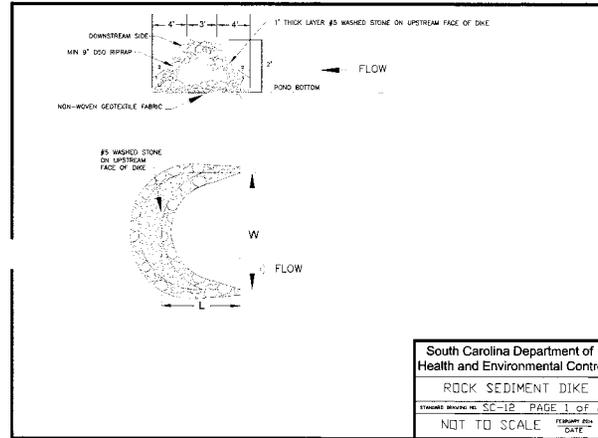
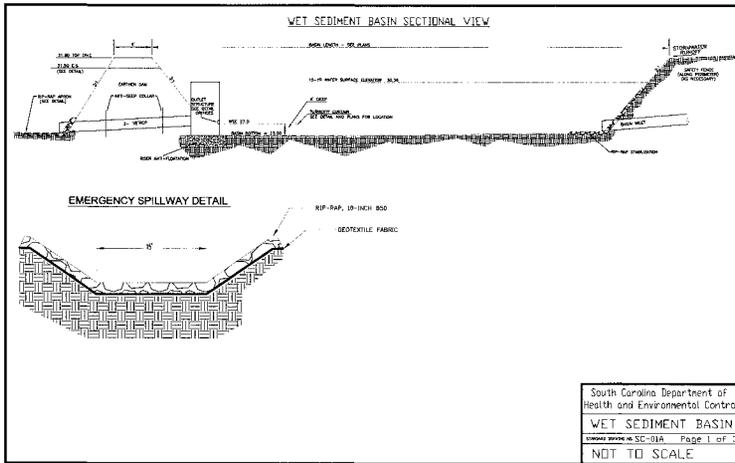
SWPPP AND STORM DRAINAGE DETAILS
PREPARED FOR
BRICKHOPE SELF STORAGE
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022

McCORMICK and ASSOCIATES OF S.C., INC.
CIVIL ENGINEERS
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
(843) 871-3646 Office (843) 881-7532 Fax mccormickassoc@bellsouth.net

Project No: 571
Drawing No. C9 of C14

FINAL DRB
PROFESSIONAL ENGINEER No. 19486



South Carolina Department of Health and Environmental Control
ROCK SEDIMENT DIKE
 DRAWING NO. SC-18 PAGE 1 OF 2
 NOT TO SCALE

WET DETENTION POND

Installation:
 The permanent pool shall be four (4) feet in depth.
 Acceptable trash guards include:
 Hoods that extend at least 6-inches below the permanent pool water surface elevation.
 Reverse flow pipes where the outlet structure inlet is located at least 6-inches below the permanent pool water surface elevation.
 Trash boxes made of sturdy wire mesh.

Inspection and Maintenance:
 The side slopes of the pond shall be mowed monthly.
 Since decomposing vegetation captured in the wetland can release pollutants, especially nutrients, it may be necessary to harvest dead vegetation annually. Otherwise the decaying vegetation can export pollutants out of the pond and also can cause nuisance conditions to occur.
 Debris shall be cleared from all inlet and outlet structures monthly.
 All eroded or undercut areas shall be repaired as needed.
 A sediment marker shall be placed in the forebay to determine when sediment removal is required.
 Sediment accumulations in the main pond area shall be monitored and sediment shall be removed when the permanent pool volume has been significantly filled and/or the pond becomes eutrophic.

South Carolina Department of Health and Environmental Control
WET DETENTION POND
 DRAWING NO. WO-02 Page 2 of 2

ROCK SEDIMENT DIKE - GENERAL NOTES

- Rock sediment dikes should not be placed in Waters of the State or USGS blue-line streams (unless approved by Federal Authorities).
- A non-woven geotextile fabric shall be installed over the soil surface where the rock sediment dike is to be placed.
- The body of a rock sediment dike shall be composed of 9-inch D50 riprap at a minimum.
- The upstream face of the rock sediment dike shall be composed of a 1-foot thick layer of 3/4-inch to 1-inch D50 washed stone placed at a slope of 2:1V.
- Rock sediment dikes shall have a minimum top flow length of 3-feet (2-foot flow length through the riprap and 1-foot flow length through the washed stone).
- The rock must be placed by hand or mechanical placement (no dumping of rock to form the sediment dike) to achieve proper dimensions.
- A sediment sump shall be located on the upstream side of the structure to provide sediment storage. The upstream side of the sump shall have a slope of 5:1V to inhibit erosion of the sediment storage area. The minimum depth of the sump shall be 2-feet.
- Mark the sediment clean-out level of the sediment dike with a stake in the field.
- Seed and mulch all disturbed areas.

ROCK SEDIMENT DIKE - INSPECTION AND MAINTENANCE

- The key to a functional rock sediment dike is weekly inspection, routine maintenance and regular sediment removal.
- Attention to sediment accumulations within the rock sediment dike is extremely important. Accumulated sediment deposition should be continually monitored in the trap and removed when necessary.
- Remove accumulated sediment when it reaches 50% of the designed sediment storage volume as marked by the clean-out stake.
- Removed sediment from the rock sediment dike shall be placed in suitable storage areas or spread thinly across the disturbed area. Stabilize the removed sediment after it is relocated.
- Regular inspections of rock sediment dikes should be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 3/8-inch or more of precipitation.
- All rock sediment dikes should be removed within 30 days after final stabilization is achieved. Dispose of all construction materials appropriately. Disturbed areas resulting from removal shall be permanently stabilized.

South Carolina Department of Health and Environmental Control
ROCK SEDIMENT DIKE
 DRAWING NO. SC-18 PAGE 2 OF 2
 GENERAL NOTES

Revision No.	Date	Description	By
1			

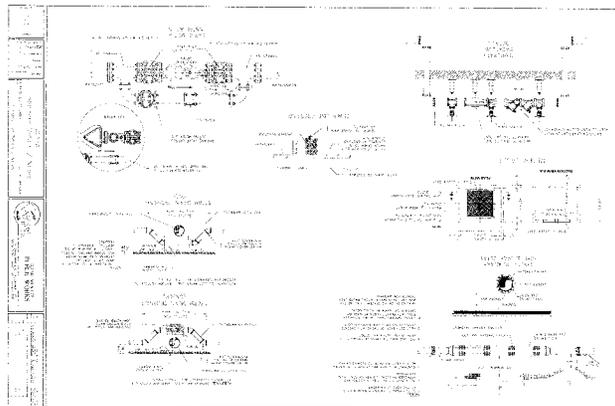
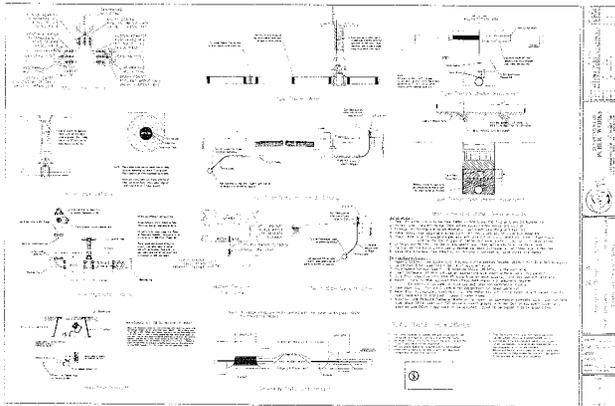
SWPPP DETAILS
 PREPARED FOR
BRICKHOPE SELF STORAGE
 CITY OF GEORGE OREGON, SOUTH CAROLINA

DATE: September 12, 2022

McCORMICK and ASSOCIATES OF S.C., INC.
 CIVIL ENGINEERS
 1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
 (843) 971-3646 Office (843) 881-7532 Fax mccormickassocia@bellsouth.net

Project No. 571 Drawing No. 01 of 04

SOUTH CAROLINA PROFESSIONAL ENGINEER
 No. C02217
 SOUTH CAROLINA PROFESSIONAL ENGINEER
 No. 19496
FINAL DRB
 PROFESSIONAL ENGINEER
 NO. 19496



WATER NOTES:

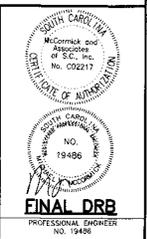
1. WATER INSTALLATION SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS, S.C. D.H.C., AND GOOSE CREEK DEPARTMENT OF PUBLIC WORKS (GCDPW) REQUIREMENTS.
2. CONTRACTOR SHALL BE FAMILIAR WITH ALL REQUIREMENTS OF THE GCDPW AND SHALL NOTIFY GCDPW PRIOR TO BEGINNING CONSTRUCTION AND SECURE ALL INSPECTIONS THEREAFTER.
3. RADIIUS (DEFLACT) WATER LINES IN LIEU OF FITTINGS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. DEFLECTION NOT TO EXCEED 75% OF MANUFACTURER'S RECOMMENDATION.
4. ALL WATER LINES SHALL HAVE A MINIMUM DIAMETER OF 4", A MINIMUM COVER OF 36" AND A MAXIMUM COVER OF 48". ALL UTILITY CROSSINGS, I.E. STORM DRAINAGE & SANITARY SEWER, SHALL HAVE A FULL SECTION OF D.P.P. CENTERED AT THE CROSSING IN ACCORDANCE WITH S.C. D.H.C. AND GCDPW REQUIREMENTS.
5. ALL TEES, BENDS, PLUGS AND HYDRANTS ON LINES 3 INCHES INSIDE DIAMETER OR LARGER SHALL BE PROVIDED WITH THRUST BLOCKING, IR RODS, OR OTHER APPROVED METHOD OF RESTRAINT PER GCDPW.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK.
7. ALL WATER LINES UNDER TRAFFIC AREAS SHALL BE:
 - A. DUCTILE IRON WITH FIP D LOCK GASKETS POLY WRAPPED TO GCDPW SPECIFICATIONS OR
 - B. DUCTILE IRON IN A STEEL CASING WITH CASING SPACERS.
 THE STEEL CASING OR D.P.P. SHALL EXTEND A MINIMUM OF 3 LF BEYOND THE BACK OF CURB.
8. UPON COMPLETION OF CONSTRUCTION OF THE WATER SYSTEM, THE APPROVAL PROCEDURE SHALL BE AS FOLLOWS:
 - A. A PRESSURE TEST IN ACCORDANCE WITH GCDPW REQUIREMENTS WILL BE WITNESSED BY THE ENGINEER AND WITNESSED BY GCDPW AND THE ENGINEER.
 - B. AFTER A PASSING PRESSURE TEST, THE CONTRACTOR SHALL TAKE REQUIRED SAMPLES FOR BACTERIAL TESTING.
 - C. A COMPLETE WATER SYSTEM AS-BUILT DRAWING IN A FORMAT ACCEPTABLE TO GCDPW SHALL BE PROVIDED FOR FINAL INSPECTION.
 - D. ANY DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR AND FINAL INSPECTION RESCHEDULED.
9. ALL VALVES AND FIRE HYDRANTS SHALL OPEN CLOCKWISE AS PER GCDPW REQUIREMENTS.
10. UNDER NO CIRCUMSTANCES SHALL VALVES OR FIRE HYDRANTS BE PLACED IN SIDE WALKS, CURB AND GUTTER OR ROADWAYS WITHOUT SPECIFIC WRITTEN APPROVAL FROM GCDPW.
11. FIRE HYDRANTS SHALL BE PLACED AS FAR AS PRACTICAL FROM THE ROADWAY (SEE DETAIL).

UTILITY DETAILS
PREPARED FOR
BRICKHOPE SELF STORAGE
CITY OF GOOSE CREEK, SOUTH CAROLINA

DATE: September 12, 2022

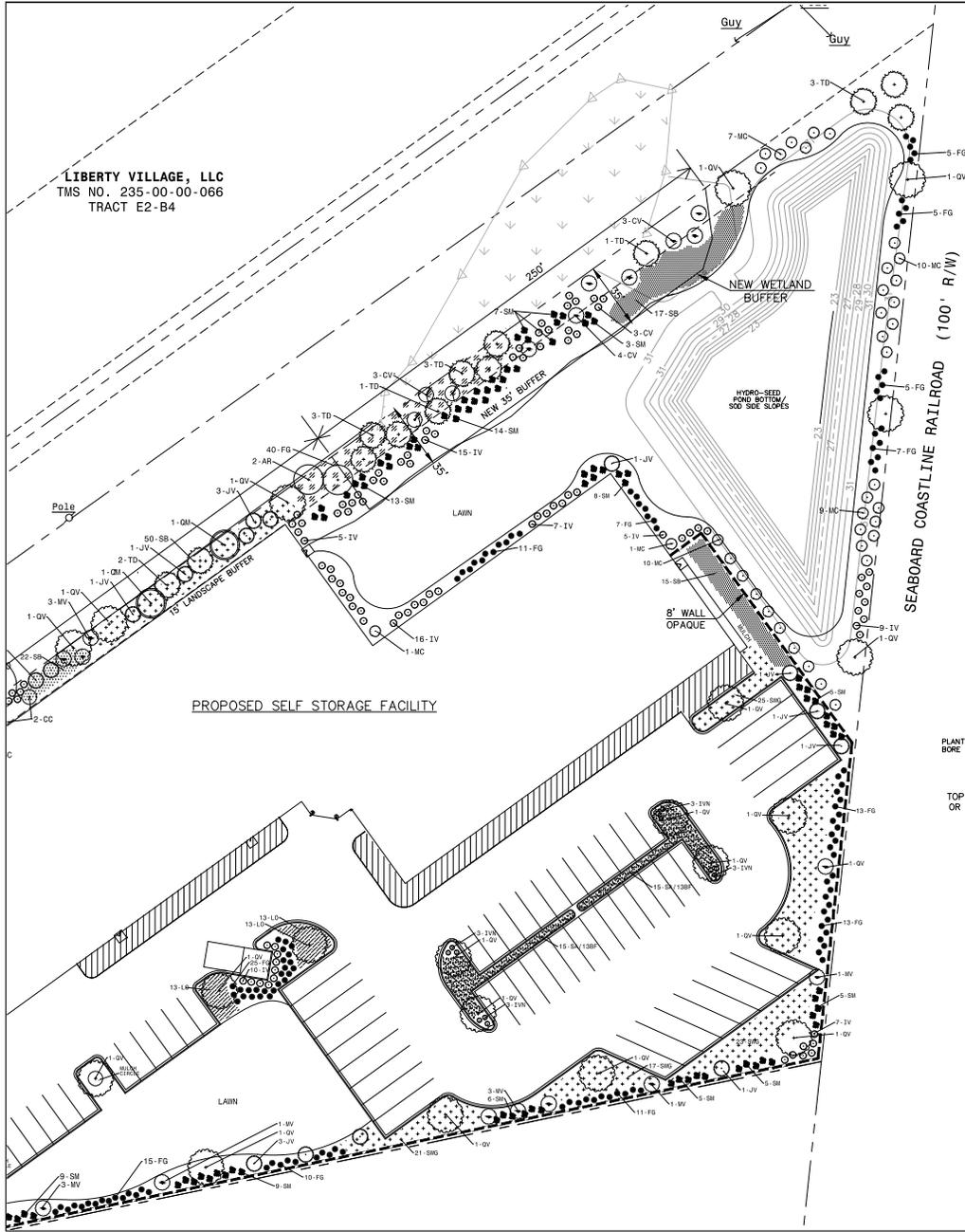
McCORMICK and ASSOCIATES OF S.C., INC.
CIVIL ENGINEERS
1250 Fairmont Avenue, Mt. Pleasant, Carolina - 29464
(843) 971-3646 Office (843) 881-7532 Fax mccormickassoc@bellsouth.net

Project No: 571 Drawing No: C17 of C14



Revision No.	Date	Description	By	App'd
1				
2				
3				
4				
5				
6				
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10				

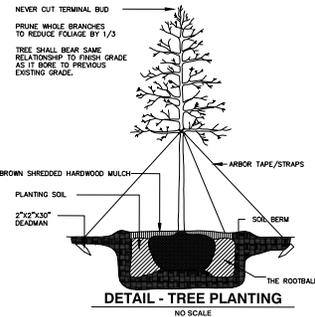
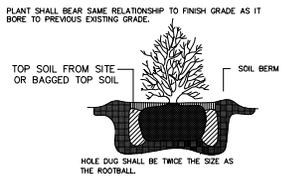
LIBERTY VILLAGE, LLC
TMS NO. 235-00-00-066
TRACT E2-B4



TOPSOIL
SPREAD EVENLY 2" TOPSOIL AT ALL NEWLY
PLANTED AREAS.
MULCH 3" SHREDDED HARDWOOD MULCH/DARK BROWN
LAWN BERMUDA SOD
NOTE: CONTRACTOR TO VERIFY COUNTS FROM ACTUAL PLAN.

PLANT SCHEDULE				
CODE	TREES	COMMON NAME	HEIGHT/SIZE	QUANTITY
TD	LOUISIANA TREE FORM(SPECIEM)	FROM PELICANS ROOST NURSERY	6'-7'	
OV	QUERCUS VIRGINIANA	LIVE OAK	2.5" CALIPER	
OM	QUERCUS PHELLOS	MULLEN OAK	2.5" CALIPER	
AR	SABAL PALMETTO	SABAL PALMETTO	12' HGT	
UNDEFSIORY TREES				
JV	JUNIPERUS VIRGINIANA	RED CEDAR	6' HGT	
MV	SPARTINA BAKERI	SPARTINA GRASS	6' HGT	
CC	CHONANTHUS VIRGINICUS	FRINGE TREE	6' HGT	
SHRUBS				
SMG	SWEET MULHY GRASS	SWEET GRASS	3 GAL	
SB	SPARTINA BAKERI	SPARTINA GRASS	3 GAL	
LO	LOMANDRA	BRITZ GRASS	1 GAL	
IV	ILEX VOMITORIA	TAUNTON HOLLY	7 GAL	
FZ	FARKHACHIE GRASS	FARKHACHIE GRASS	3 GAL	
SM	SABAL MINOR	DW PALMETTO	3 GAL	
SL	SPIKER LILY	SPIKER LILY	3 GAL	
SA/BF	SPOCKS ASTER(SA)/BLANKET FLOWER(BF)	WAX WHOLE	1 GAL	
MC	MERICA CORPORA	WAX WHOLE	7 GAL	
LF	LEUCODENDRON JACK FROST	WAX WHOLE	7 GAL	

- IRRIGATION NOTES**
1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES.
 3. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
 4. ALL PLANTED AREAS SHALL BE IRRIGATED BY AN AUTOMATIC LANDSCAPE IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED BY IRRIGATION CONTRACTOR. CONTRACTOR SHALL VERIFY AMOUNT OF WATER METERS NEEDED ON-SITE FOR APPROVAL.
 5. LANDSCAPE CONTRACTOR SHALL COORDINATE PIPING AND CONNECTION TO AN EX OR NEW APPROVED WATER METERS.
 6. PIPE SLEEVES SHALL BE INSTALLED BY IRRIGATION CONTRACTOR AS NECESSARY. COORDINATE WITH GENERAL CONTRACTOR.
 7. IRRIGATION TIME CLOCK AND POWER SUPPLY LOCATION SHALL BE COORDINATED WITH OWNER.
 8. EXISTING ECOLOGY AND AESTHETICS WILL OFTEN CAUSE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENT BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
 9. IRRIGATION SYSTEM SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE BY OWNER.
 10. THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS IS THE SOLE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.



PLANT GUARANTEE
LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANT MATERIAL'S HEALTH UNTIL FINAL ACCEPTANCE BY OWNER. OWNER RESERVES THE RIGHT TO REJECT ANY DEAD OR DECLINING PLANT MATERIAL AT FINAL INSPECTION.

CLEARING OF DEBRIS
LANDSCAPE CONTRACTOR SHALL CLEAR ALL PROPOSED PLANTED AREAS OF ALL ROCKS AND DEBRIS BEFORE PLANTING.

UNDERGROUND UTILITIES
SEE CONSTRUCTION PLANS



BRICKHOPE SELF STORAGE
HENRY E. BROWN BLVD.
GOOSE CREEK S.C.



Revision: _____ Date: 9/18/22

LANDSCAPE PLAN
L2

SCALE: 1"=20'

LIBERTY VILLAGE, LLC
 TR 1 NO. 235-00-00-005
 TRACT E2-B4



BRUCKHOPE SELF STORAGE
 HENRY E. BROWN BLVD.
 GOOSE CREEK S.C.



Revisor: _____ Date: 9/18/22

LANDSCAPE RENDERING
L3

HENRY E. BROWN JR. BOULEVARD

SEABOARD COASTLINE RAILROAD (100' R/W)

PROPOSED SELF STORAGE FACILITY

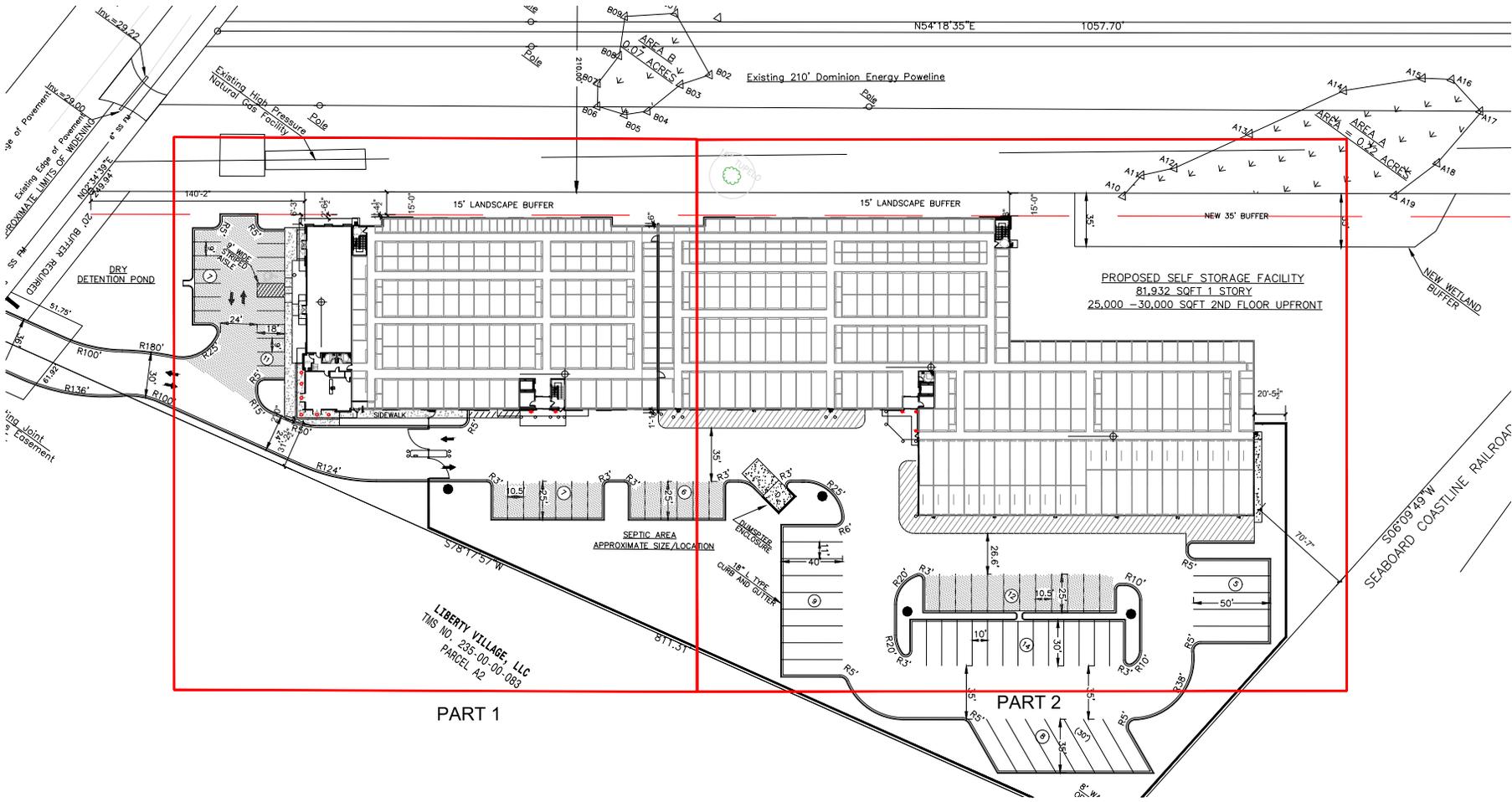
15' TYPE BUFF (PER 100')			
4 CANOPY TREES	24	1	
8 UNDERSTORY TREES	24	1	
30 SHRUBS			

15' TYPE BUFF (125')			
4 CANOPY TREES	49	27	3
8 UNDERSTORY TREES	49	27	3
30 SHRUBS	182	182	3

25' TYPE BUFFER (PER 100')			
4 CANOPY TREES	5	0	
8 UNDERSTORY TREES	5	0	
30 SHRUBS			

25' TYPE BUFFER (125')			
4 CANOPY TREES	7	0	
8 UNDERSTORY TREES	7	0	
30 SHRUBS	25	25	0

LIBERTY VILLAGE, LLC
 TR 1 NO. 235-00-00-005
 PARCEL #2



1 ARCHITECTURAL SITE PLAN
SCALE: 1/32"=1'-0"



AREA CALCULATIONS:

BUILDING TOTAL:	137,918 SF GROSS
FIRST FLOOR TOTAL:	80,287 SF GROSS
SECOND FLOOR TOTAL:	57,631 SF GROSS



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SUITE 200
MOUNT PLEASANT, SC 29564
LOUISE F. HENNINGER, AIA
www.lfkarch.com
Phone: 803.330.8868

PROJECT NUMBER:	21-153
DESIGNER:	JHB
DRAWN:	LFK
CHECKED:	LFK

REVISION NOTES:

BRICKHOPE SELF STORAGE
HENRY BROWN BOULEVARD
GOOSE CREEK, SC
ARCHITECTURAL SITE PLAN

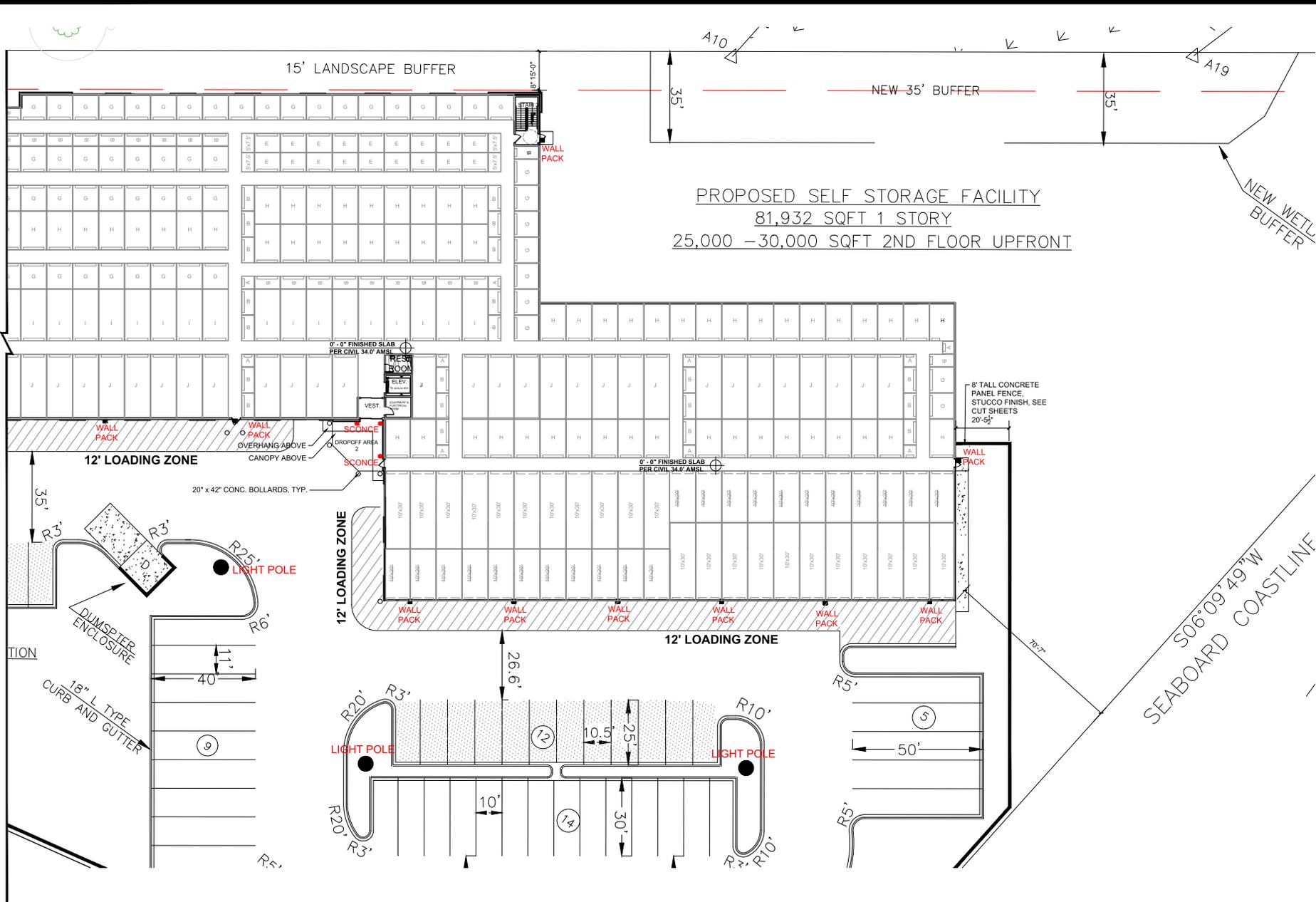
SHEET NUMBER & TITLE

A001

FINAL ARB
09.20.2022

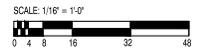
ORIGINAL LAYOUT SIZE: 24x36

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PROPOSED SELF STORAGE FACILITY
 81,932 SQFT 1 STORY
 25,000 - 30,000 SQFT 2ND FLOOR UPFRONT

1 ENLARGED ARCHITECTURAL SITE PLAN - PART 2
 SCALE: 1/16"=1'-0"



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DESIGNER	LFK
CHECKED	LFK
DRAWN	LFK
JOB	
DATE	21-153

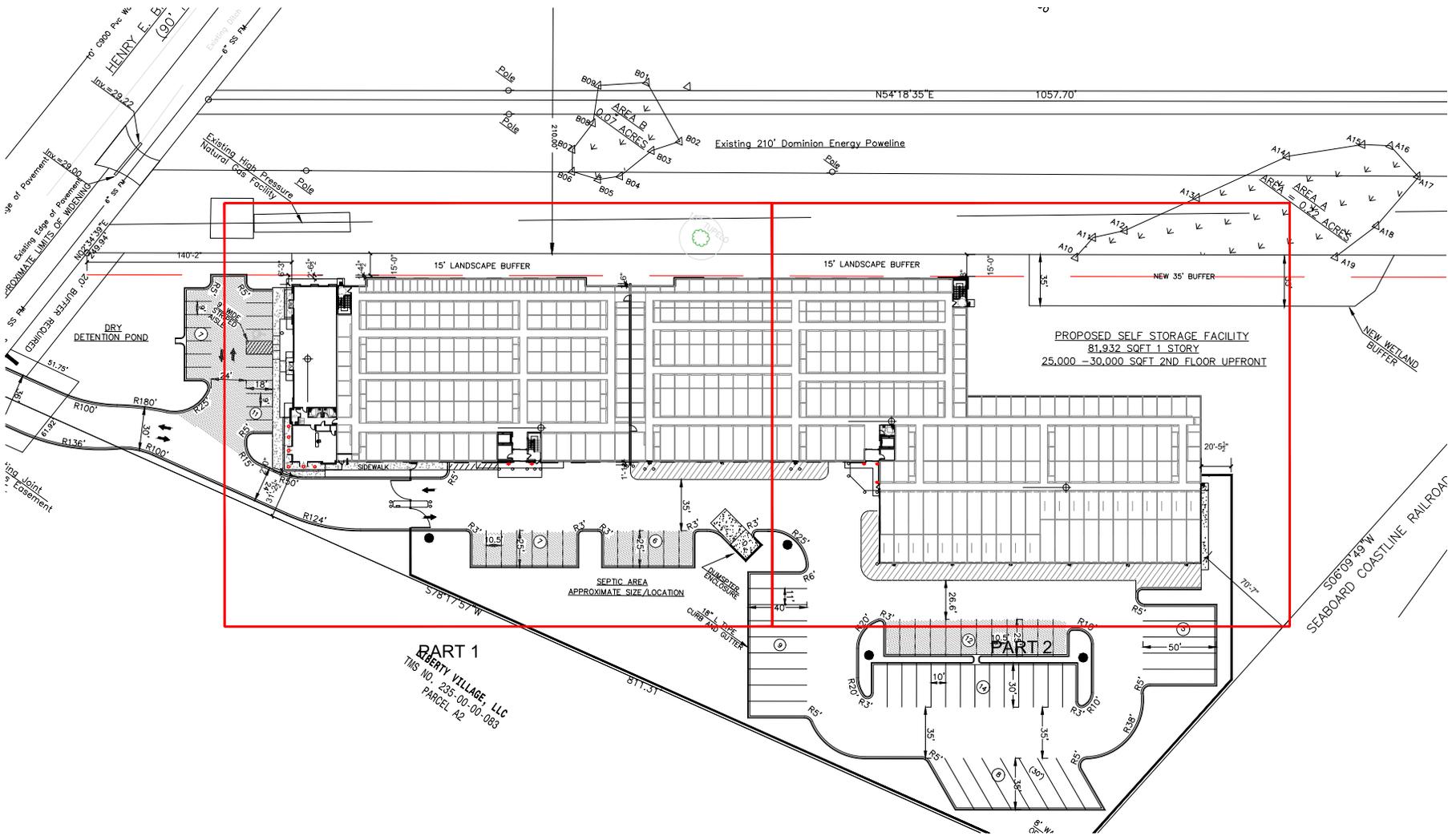
REVISION NOTES:

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
 ENLARGED ARCHITECTURAL SITE PLAN - PART 2

SHEET NUMBER & TITLE

A003

FINAL ABB
 09.20.2022

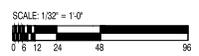


PART 1
 CLARITY VILLAGE, LLC
 TMS NO. 235-00-00-083
 PARCEL A2

1 FIRST FLOOR PLAN
 SCALE: 1/32"=1'-0"



AREA CALCULATIONS:
 FIRST FLOOR TOTAL: 80,287 SF GROSS



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 886 JOY WINE COODS BLVD
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 MOUNT PLEASANT, SC 29504
 LOUISE F. WRIGHT II, AIA
 louise@lfkarchitect.com
 Phone: 803.339.8888

CS NUMBER:	Z1153
DRAWN:	JMB
CHECKED:	LFK

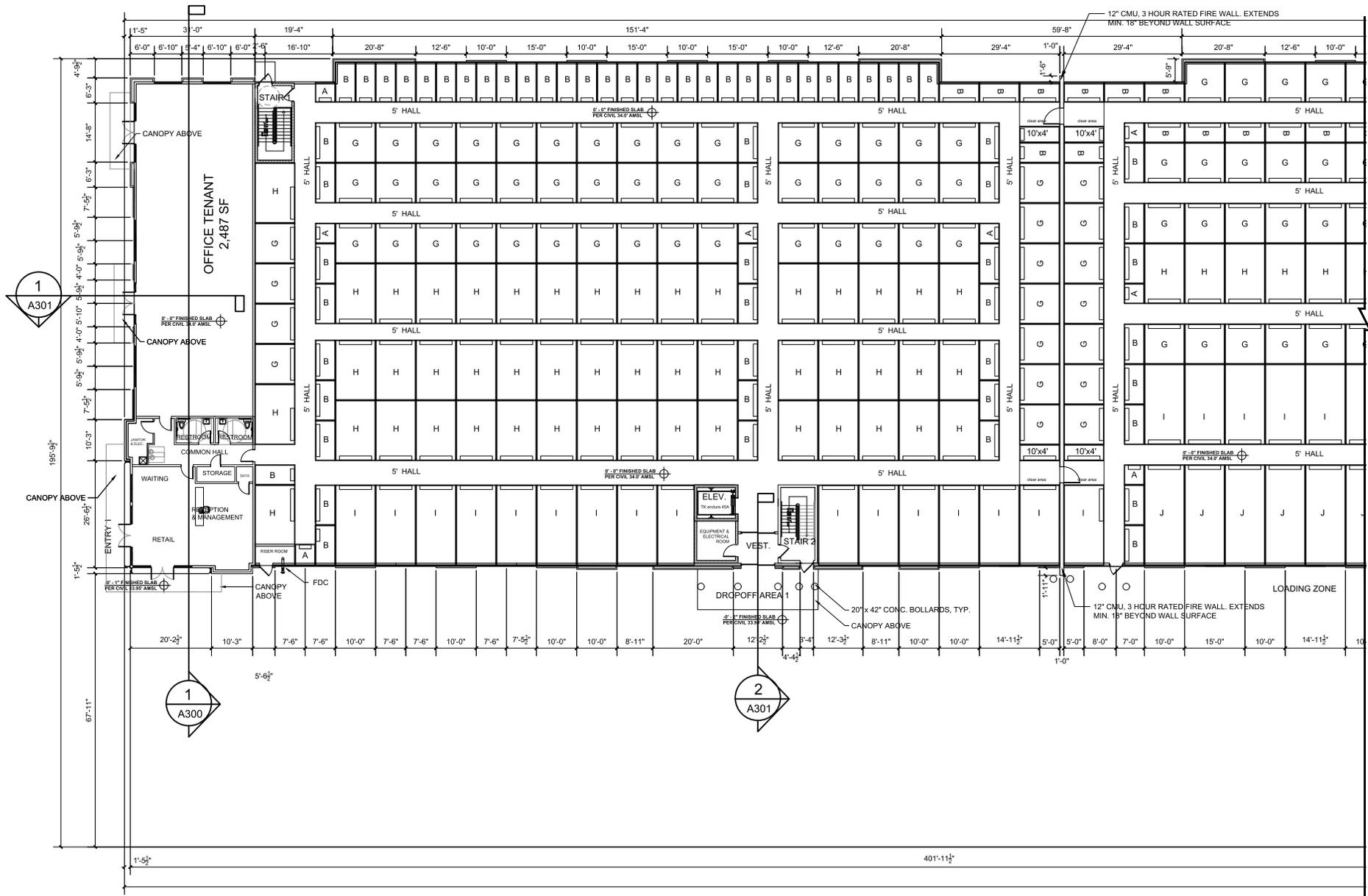
REVISION NOTES:

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
FIRST FLOOR PLAN

SHEET NUMBER & TITLE

A100

FINAL ARB
 09.20.2022



1 ENLARGED FIRST FLOOR PLAN - PART 1
SCALE: 3/32"=1'-0"



SCALE 3/32" = 1'-0"
1" = 1'-0"



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LOUISE F. HENNETT IS AIA
louise@lfkarch.com
Phone: 803.339.8882

JOB NUMBER:	Z1153
DATE:	
DRAWN:	JMB
CHECKED:	LFK

REVISION NOTES:

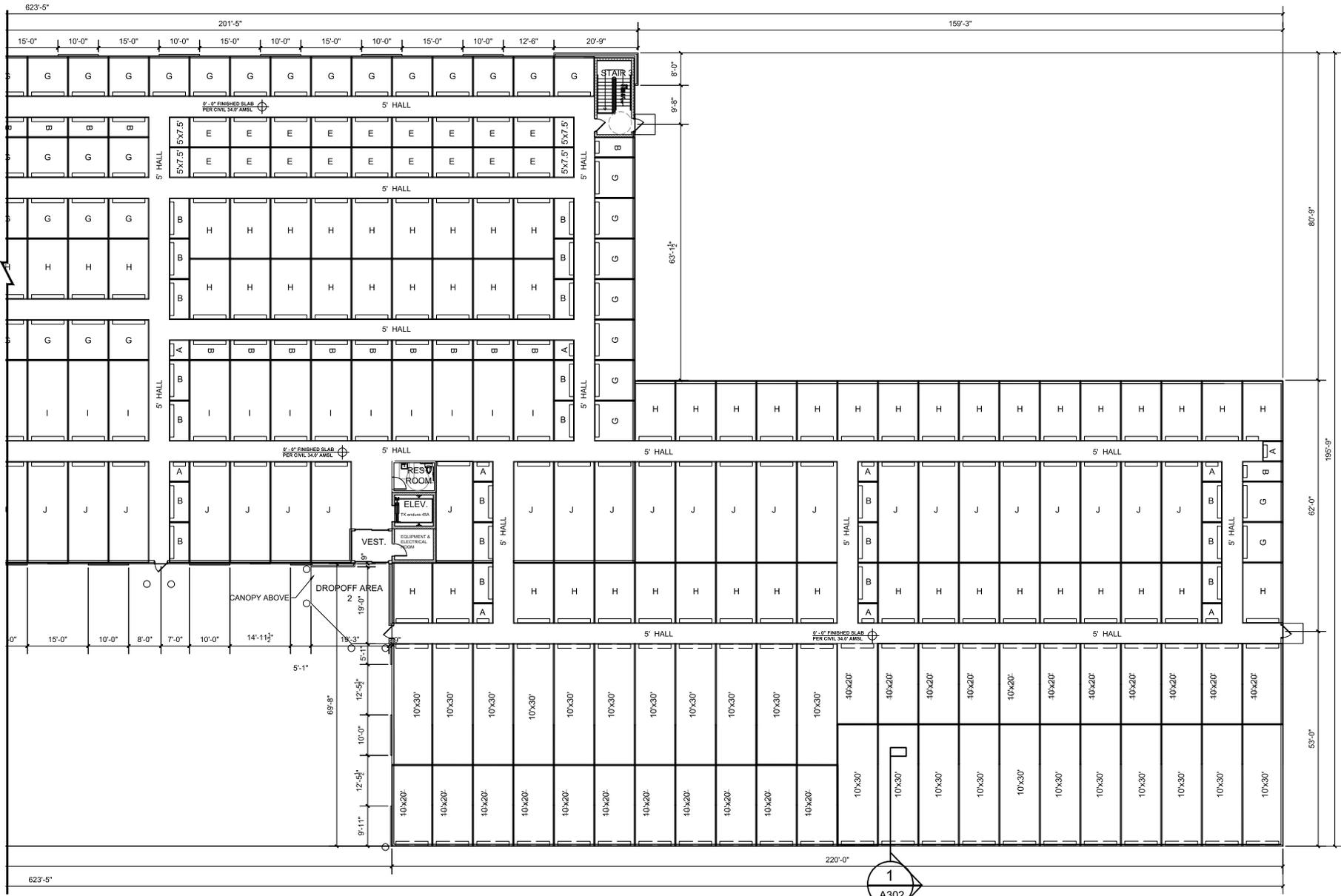
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BRICKHOPE SELF STORAGE
HENRY BROWN BOULEVARD
GOOSE CREEK, SC
ENLARGED FIRST FLOOR PLAN - PART 1

SHEET NUMBER & TITLE

A101

FINAL ARB
09.20.2022



1 ENLARGED FIRST FLOOR PLAN - PART 2
 SCALE: 3/32" = 1'-0"

1
 A302

SCALE 3/32" = 1'-0"
 1" = 1'-0"



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 State of South Carolina
 LFLK ARCHITECTS, LLC
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JOB NUMBER: 21-153
 DRAWN: JMB
 CHECKED: LFK

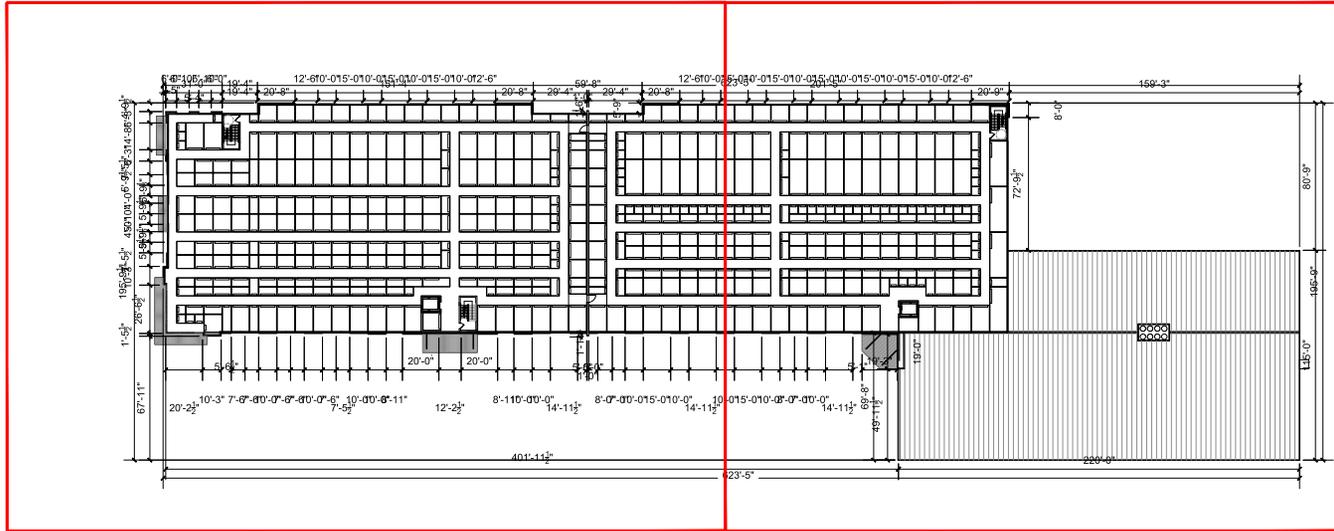
REVISION NOTES:

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
 ENLARGED FIRST FLOOR PLAN - PART 2

SHEET NUMBER & TITLE

A102

FINAL ARB
 09.20.2022



PART 1

PART 2

1 SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"



AREA CALCULATIONS:
SECOND FLOOR TOTAL: 57,631 SF GROSS



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 LOUISE F. KNIGHT II, AIA
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JOB NUMBER:	21-153
DRAWN:	JMB
CHECKED:	LFK

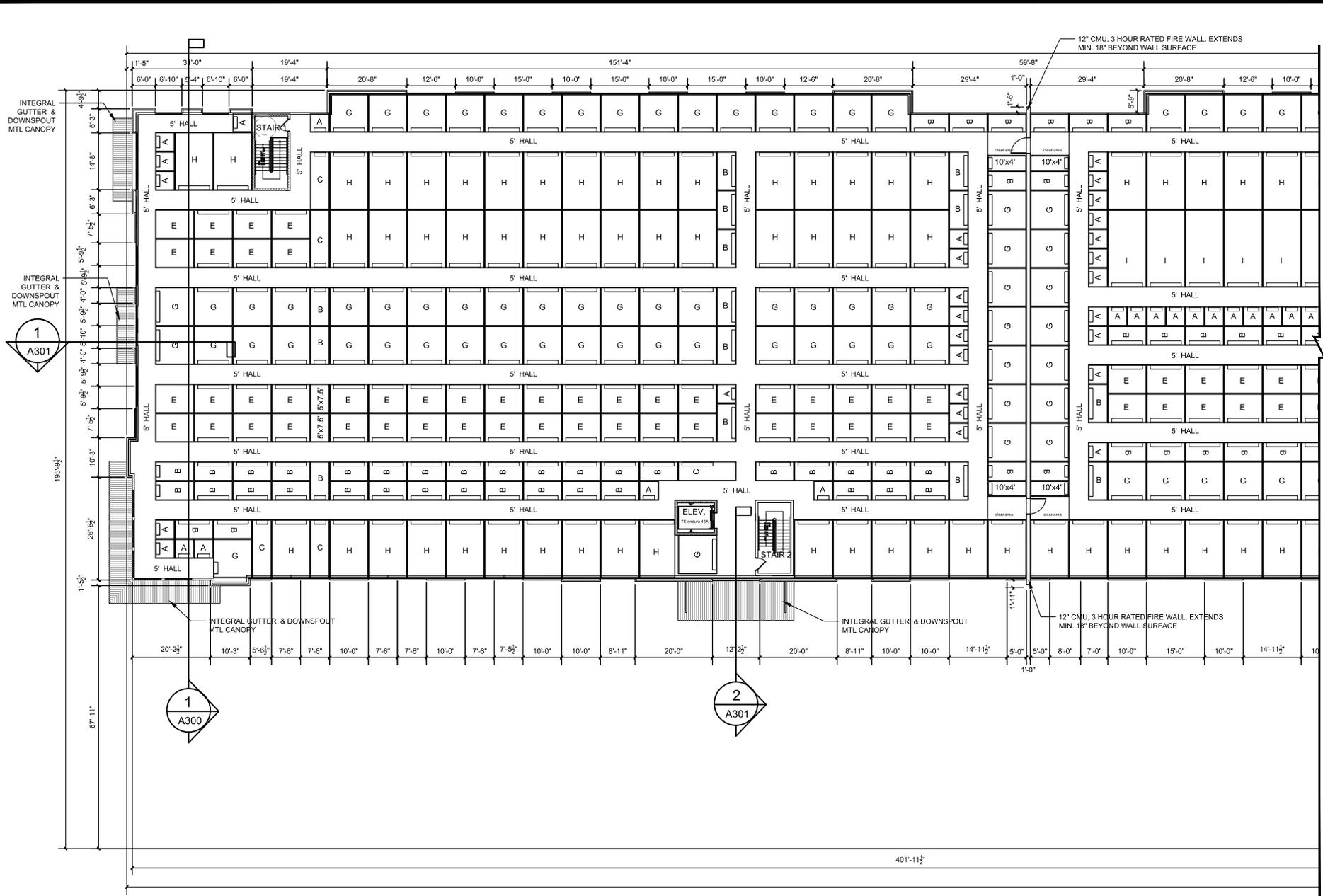
REVISION NOTES:

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
 SECOND FLOOR PLAN

SHEET NUMBER & TITLE

A103

FINAL ARB
 09.20.2022



1 ENLARGED SECOND FLOOR PLAN - PART 1
 SCALE: 3/32" = 1'-0"



SCALE 1/32" = 1'-0"
 1" = 1'-0"



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 LICENSE # 17150
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 phone 843-300-8800

JOB NUMBER	21-110
DRAWN	JHR
CHECKED	LFK

REVISION NOTES:

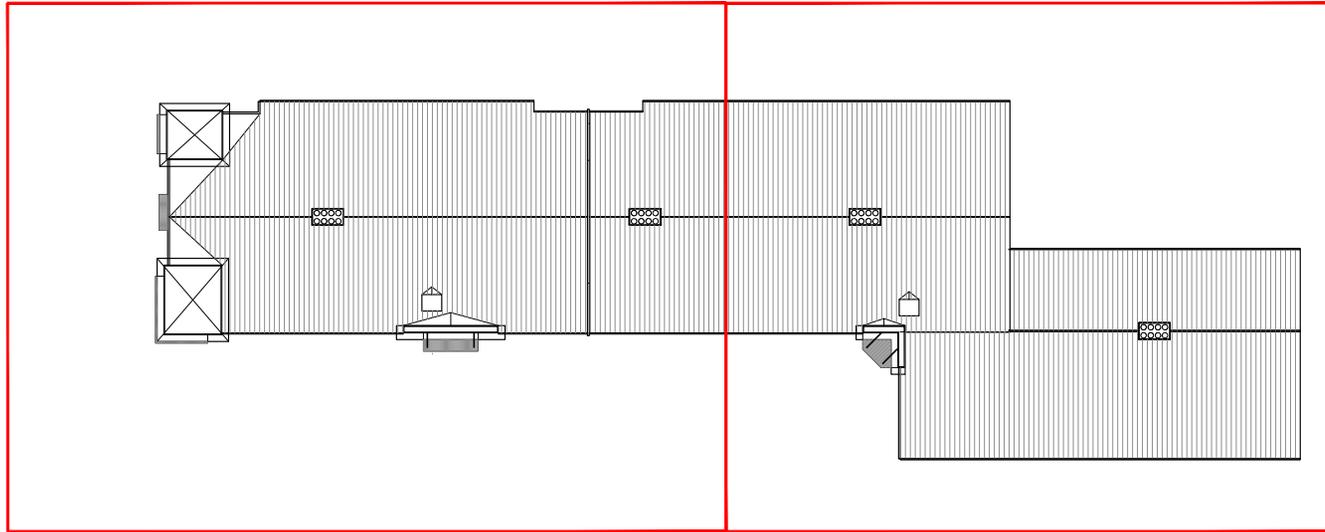
NO.	DESCRIPTION

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
 ENLARGED SECOND FLOOR PLAN - PART 1

SHEET NUMBER & TITLE

A104

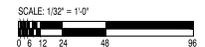
FINAL ARB
 09.20.2022



PART 1

PART 2

1 ROOF PLAN
 SCALE: 1/32" = 1'-0"



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 LOISELLE ANDRETTI, AIA
 LOISELLEANDRETTI.COM
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JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

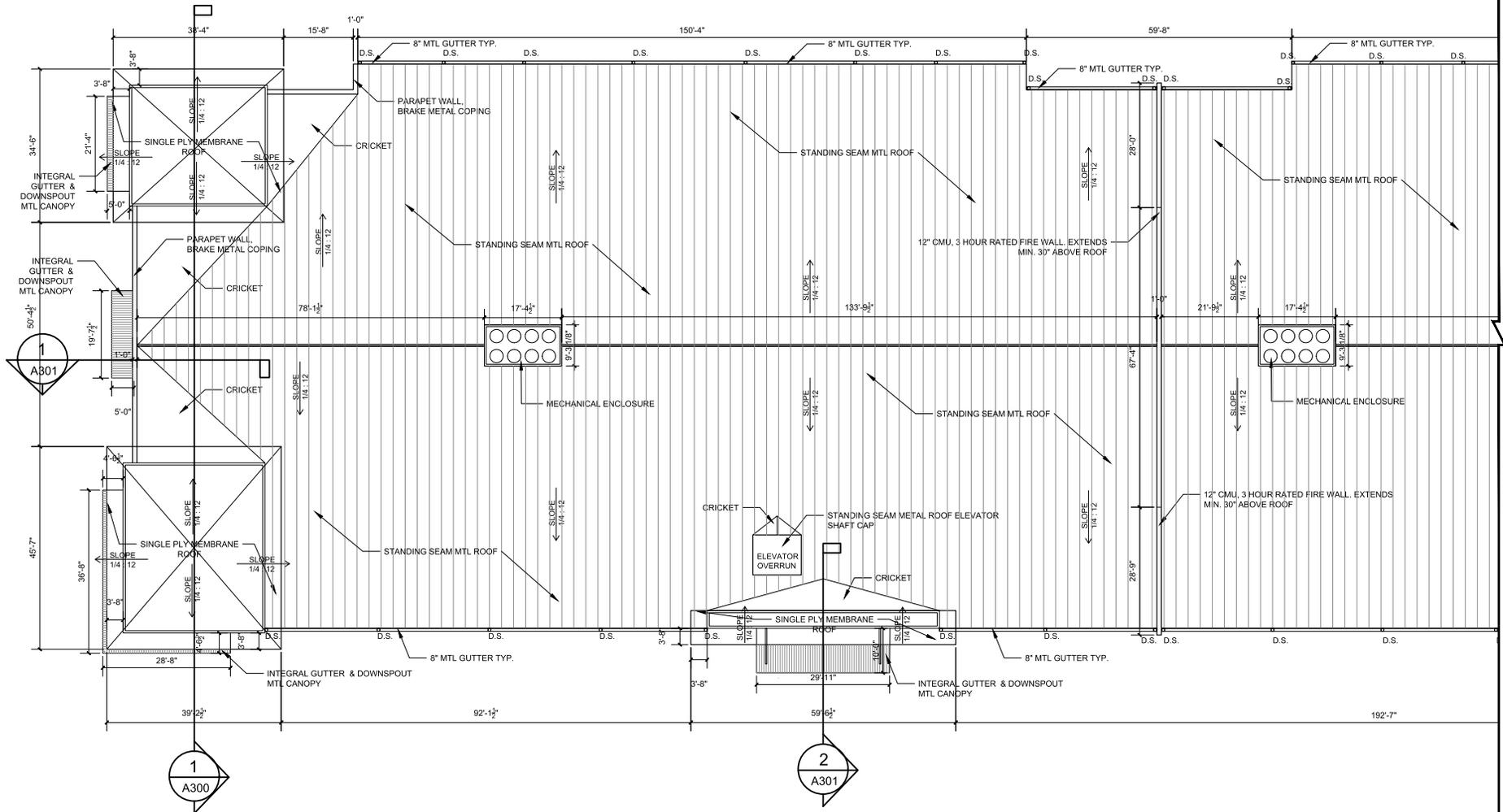
REVISION NOTES:

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
 ROOF PLAN

SHEET NUMBER & TITLE

A106

FINAL ARB
 09.20.2022



1
A300

2
A301

1 ENLARGED ROOF PLAN - PART 1
SCALE: 3/32" = 1'-0"



SCALE: 1/32" = 1'-0"
1" = 12'-0"



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lorie@lflkarch.com
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JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

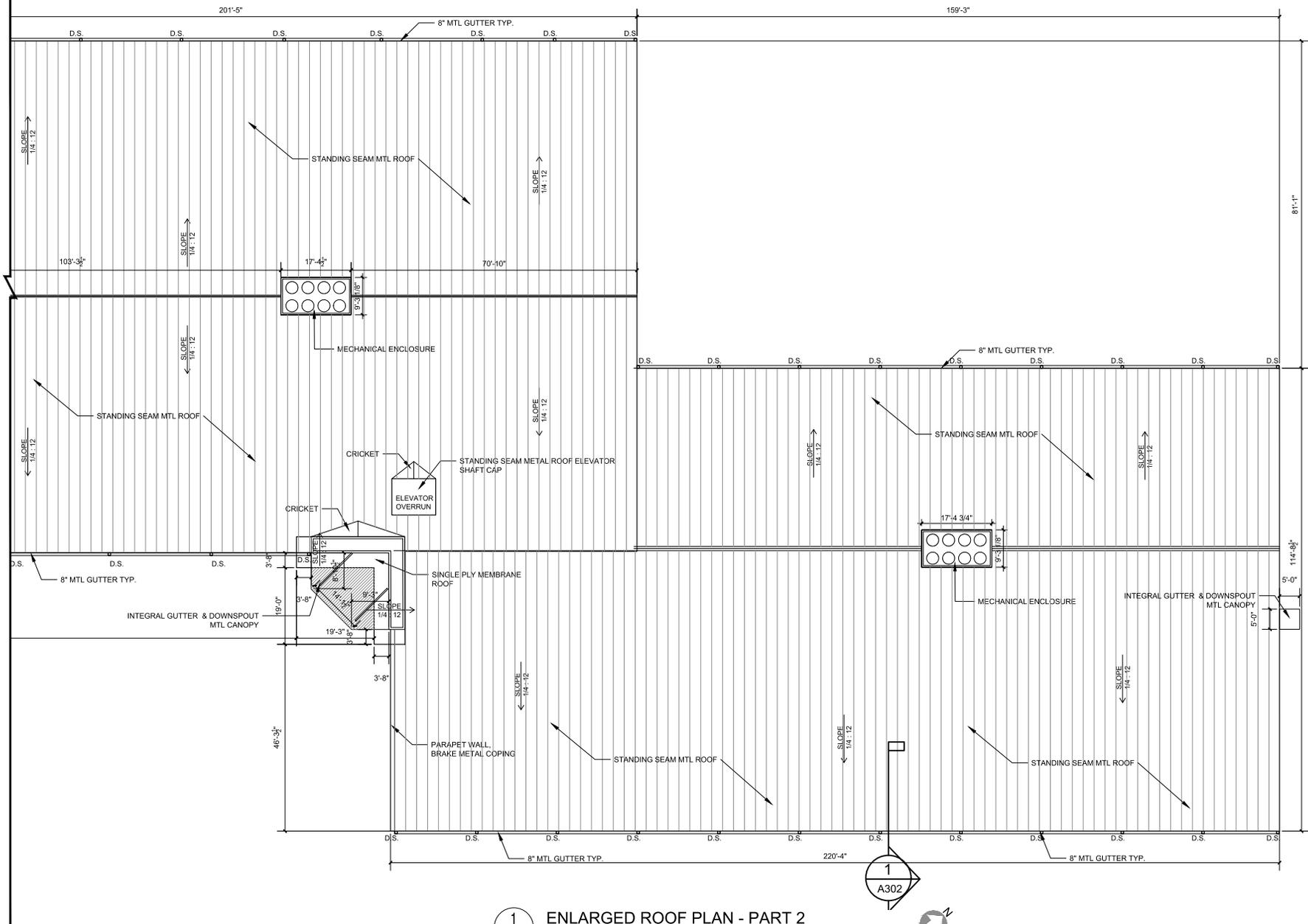
REVISION NOTES:

BRICKHOPE SELF STORAGE
HENRY BROWN BOULEVARD
GOOSE CREEK, SC
ENLARGED ROOF PLAN - PART 1

SHEET NUMBER & TITLE

A107

FINAL ARB
09.20.2022



1 ENLARGED ROOF PLAN - PART 2
SCALE: 3/32" = 1'-0"

1
A302



SCALE 1/32" = 1'-0"
11/11/22



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JOB NUMBER: 21-153	DATE: 11/11/22
DRAWN: JHR	CHECKED: LFK

REVISION NOTES:

BRICKHOPE SELF STORAGE
HENRY BROWN BOULEVARD
GOOSE CREEK, SC
ENLARGED ROOF PLAN - PART 2

SHEET NUMBER & TITLE

A108

FINAL ARB
09.20.2022



Previous (3) Story Final ARB Approved Submittal 4.20.2020



Proposed (2) Story Final ARB Submittal





Bird's Eye to East





Bird's Eye to North





Bird's Eye to West





Bird's Eye to South





Bird's Eye to West





Perspective South from Henry Brown Blvd





Henry Brown Blvd

Perspective East from Henry Brown Blvd





Front Elevation Perspective





Main Entry and Canopy Feature





Secondary Office Tenant Entry and Canopy Feature





Primary Dropoff Area and Canopy

Note- View behind stucco fence enclosure





Secondary Dropoff Area and Canopy

Note- View behind stucco fence enclosure

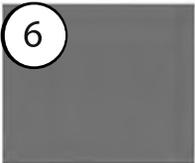




Rear Single Story Area

Note- View behind stucco fence enclosure

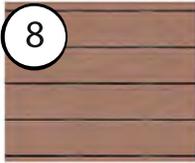




6
 PRIMARY CORNICE/FASCIA:
 -BRAKE METAL, "MUSKET GRAY"
 -ROLLFAB OR EQ.
 -FINISH: KYNAR
 -GUTTER COLOR



7
 DOORS/WINDOWS:
 -ALUMINUM STOREFRONT
 -2.5" FRAME /
 -COLOR: CLEAR ANODIZED
 -IMPACT RATED



8
 CANOPY SOFFIT:
 -FIBER CEMENT SIM. TEAK WOOD BOARD
 -5 1/2" EXPOSURE
 -COLOR: STAINED FACTORY FINISH
 -MFR: CAROLINA COLOR TONES OR EQ.

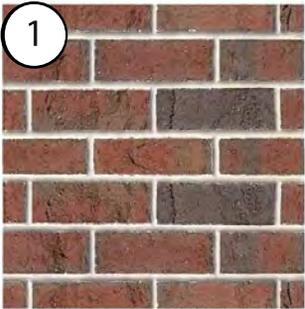
*All signage by others



9
 CANOPY COLUMNS:
 -STEEL WIDE FLANGE 6"X4"
 -WEB STIFFENERS
 -FINISH: POWDER COAT
 -COLOR: SLATE GRAY



Primary Facade facing Henry E Brown Blvd



1
 BRICK: RUNNING BOND, VENEER
 GENERAL SHALE OR EQ.
 "OLD LEXINGTON" MODULAR
 TEXTURED FACE, WIRE CUT
 FLUSH MORTAR, "STONE WHITE"



2
 CANOPY ACCENT
 BRAKE METAL
 -ROLLFAB OR EQ.
 -FINISH: KYNAR
 -COLOR: SLATE GRAY



3A
 STO 31137
 FACADE FINISH:
 -STUCCO (DRAINABLE EIFS)
 -FINISH: LIMESTONE SMOOTH
 -STO OR EQ.
 -FENCE AROUND RV STORAGE AND DUMPSTER ENCLOSURE TO MATCH



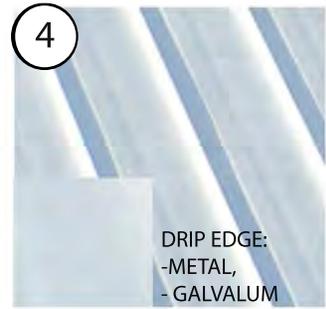
3B
 STO 37204
 PRIMARY CORNICE



3C
 STO 37102
 SECONDARY SIDE ENTRY



3D
 STO 33231
 FENCE AROUND RV STORAGE AND DUMPSTER ENCLOSURE TO MATCH



4
 DRIP EDGE:
 -METAL,
 - GALVALUM
 ROOF: (WILL NOT BE VISIBLE)
 -METAL, STANDING SEAM
 - GALVALUM, 1.75" RIB
 -SNAP LOCK PROFILE



5
 PRIMARY SIDEWALKS:
 SCORED CONCRETE
 FINISH: SAND
 4'X4' PATTERN

*All signage by others Exterior Materials Palette





JOB NUMBER	21-110
DATE	
DRAWN	JHR
CHECKED	LFK

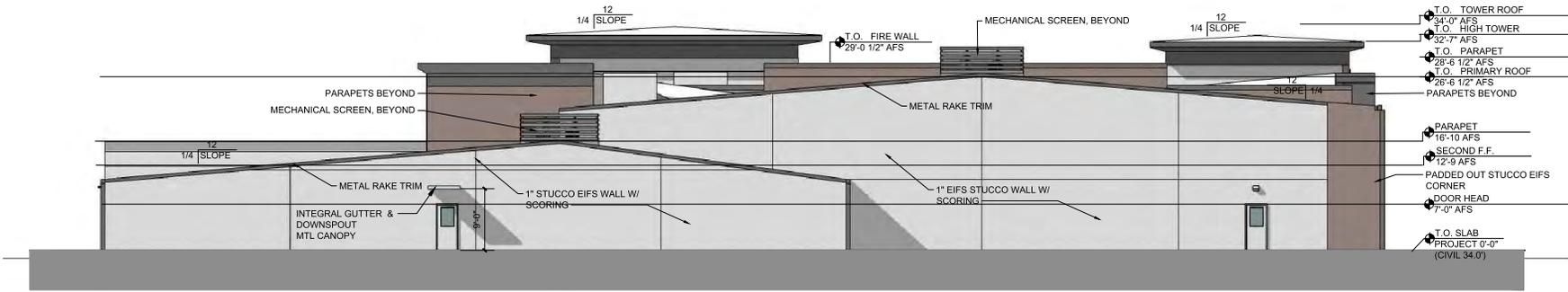
REVISION NOTES:

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
 EAST AND WEST ELEVATION

SHEET NUMBER & TITLE

A200

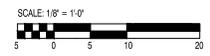
FINAL AFB
09.20.2022

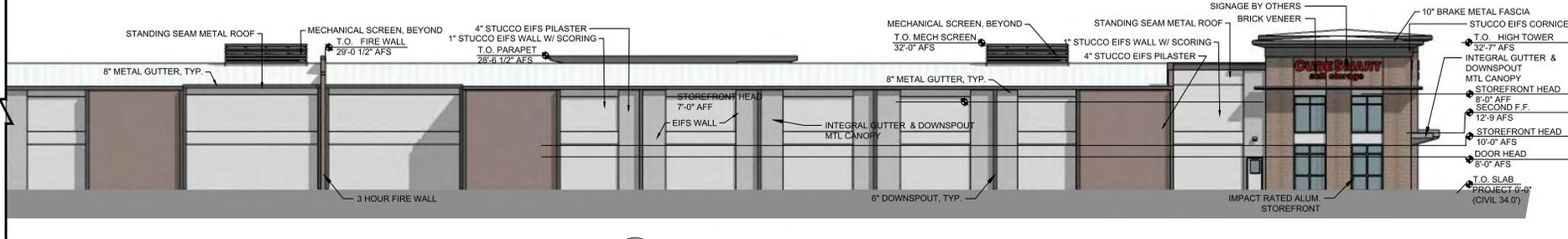


2 EAST ELEVATION (REAR FACING TRAIN TRACKS)
 SCALE: 1/8"=1'-0"

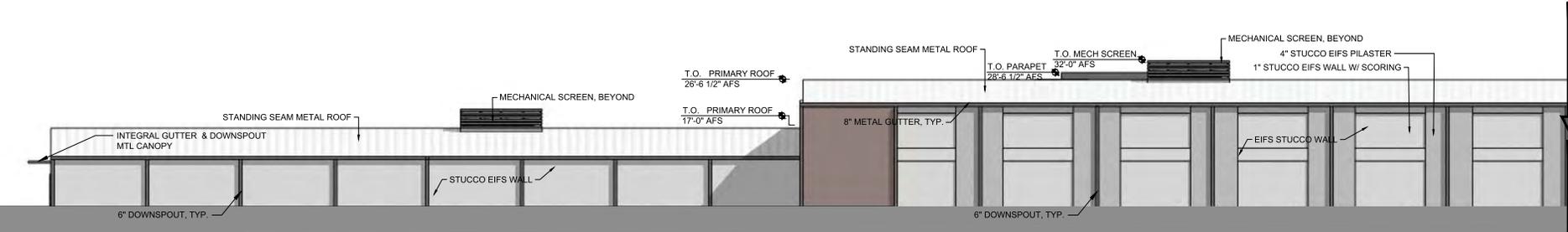


1 WEST ELEVATION (FRONT FACING HENRY BROWN BLVD.)
 SCALE: 1/8"=1'-0"





3 SOUTH ELEVATION - PART 2 (SIDE FACING 210' POWER LINE EASEMENT)
SCALE: 3/32"=1'-0"



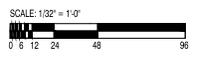
2 SOUTH ELEVATION - PART 1 (SIDE FACING 210' POWER LINE EASEMENT)
SCALE: 3/32"=1'-0"



PART 1

PART 2

1 NORTH ELEVATION (SIDE FACING 210' POWER LINE EASEMENT)
SCALE: 1/32"=1'-0"



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 LFK ARCHITECTS, LLC
 101 JOHNSON OAKS BLVD
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 MOUNT PLEASANT, SC 29564
 803.654.4444
 lfk@lfkarch.com
 phone 803.306.8800

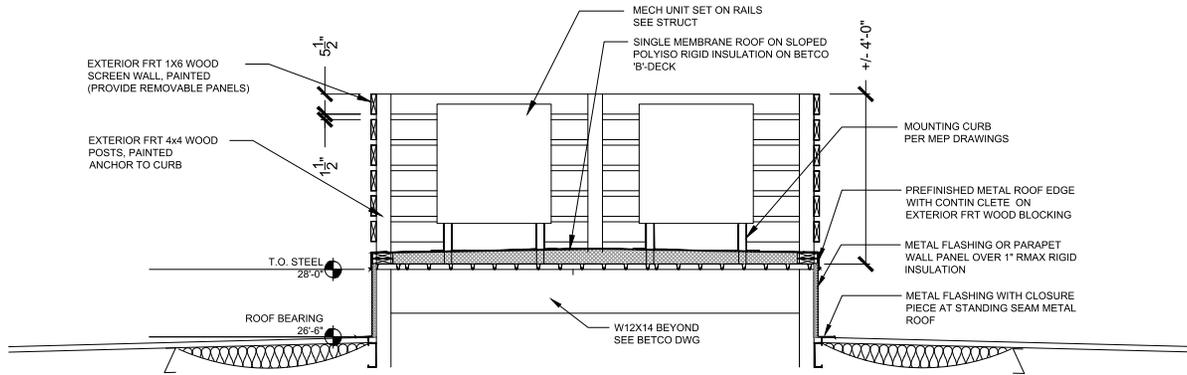
JOB NUMBER: 211-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

REVISION NOTES:

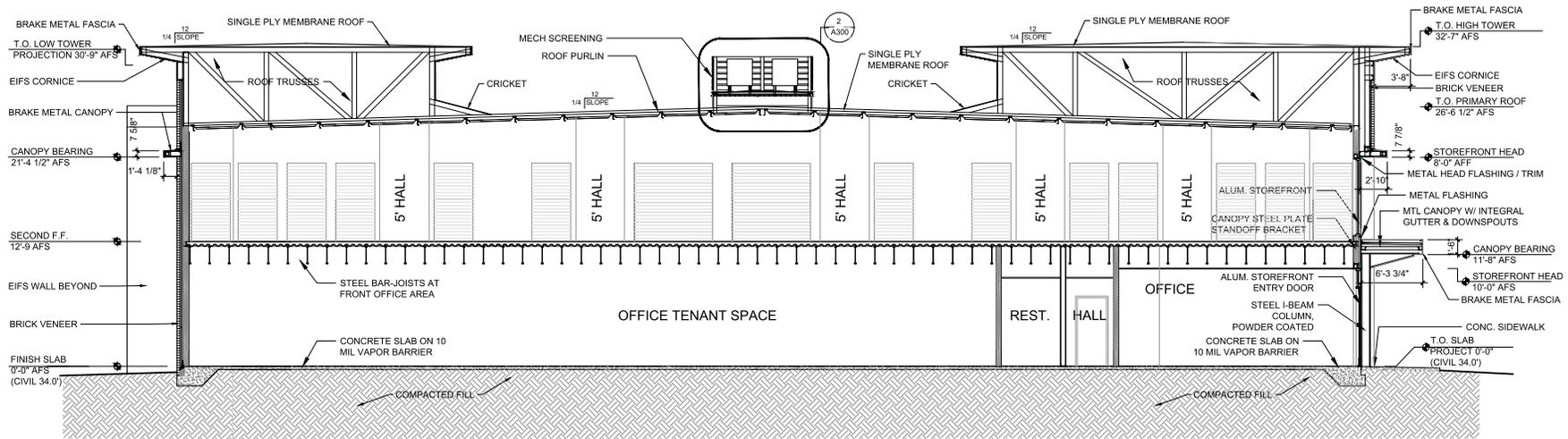
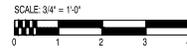
BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
 NORTH ELEVATION

SHEET NUMBER & TITLE

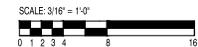
A202
 FINAL ARB
 09.20.2022



2 MECHANICAL CURB SECTION DETAIL
SCALE: 3/4" = 1'-0"



1 PROPOSED TYPICAL BUILDING SECTION
SCALE: 3/16" = 1'-0"



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SUITE 200
MOUNT PLEASANT, SC 29504
LORIE A. ANDRETTI, AIA
lorie@lfkarch.com
phone: 843-204-8868

JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

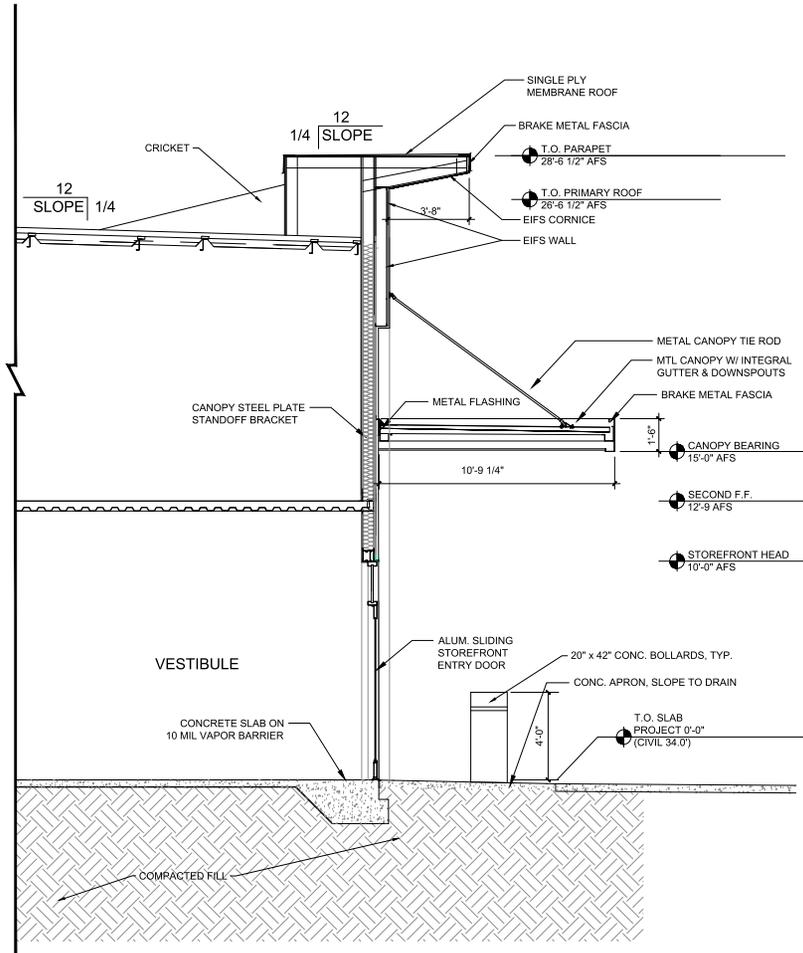
REVISION NOTES:

BRICKHOPE SELF STORAGE
HENRY BROWN BOULEVARD
GOOSE CREEK, SC
BUILDING SECTION & MECH CURB SECTION DETAIL

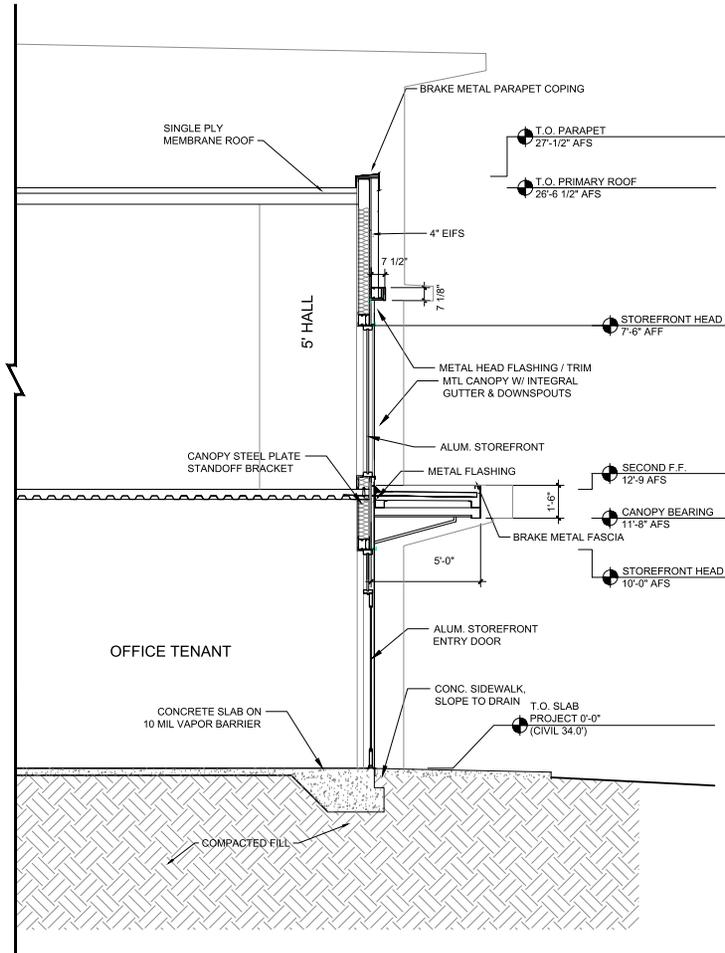
SHEET NUMBER & TITLE

A300

FINAL AFB
09.20.2022



2 PROPOSED WALL SECTION AT DROPOFF AREA1
SCALE: 3/8" = 1'-0"



1 PROPOSED WALL SECTION AT FRONT PARAPET WALL
SCALE: 3/8" = 1'-0"



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GOOSE F. ANDRETTI, AIA
HARRIS@LFKARCH.COM
Phone: 843-200-8800

JOB NUMBER	21-1103
DATE	JHR
DRAWN	LFK
CHECKED	LFK

REVISION NOTES:

NO.	DESCRIPTION

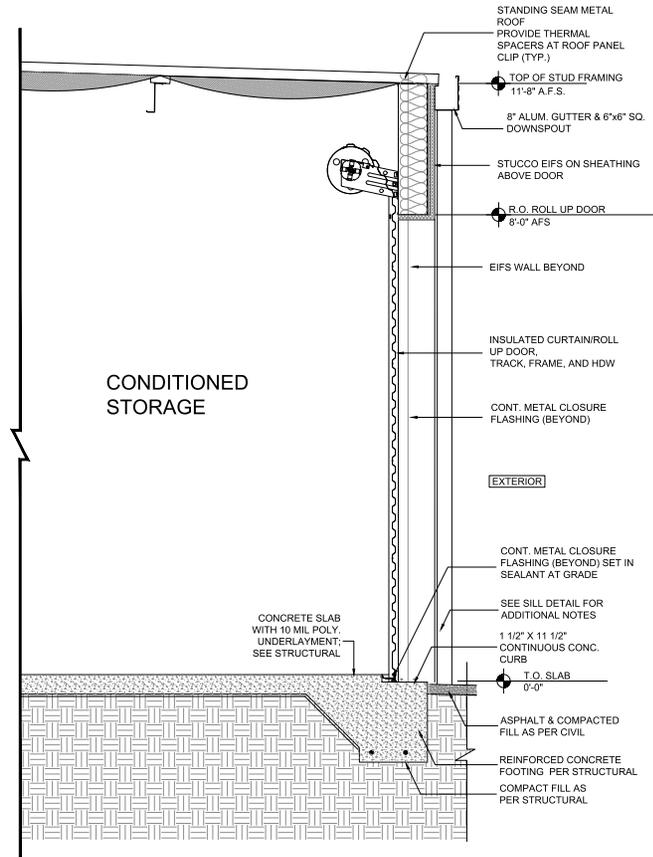
BRICKHOPE SELF STORAGE
HENRY BROWN BOULEVARD
GOOSE CREEK, SC

WALL SECTIONS

SHEET NUMBER & TITLE

A301

FINAL ARB
09.20.2022



1
PROPOSED WALL SECTION AT SINGLE STORY PORTION
 SCALE: 1" = 1'-0"



LFK ARCHITECTS, LLC
 101 JOHNSON DRIVE
 SUITE 100
 MOUNT PLEASANT, SC 29504
 803.652.1144
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DRAWN: JHR	CHECKED: LFK

REVISION NOTES:

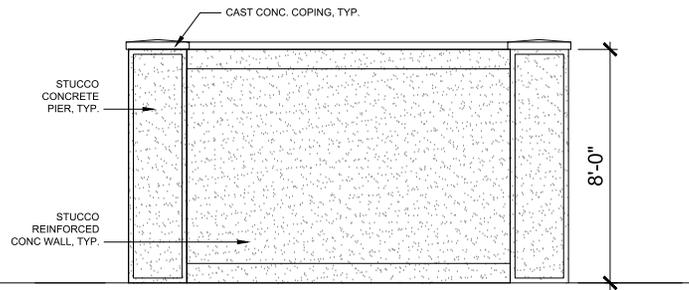
NO.	DATE	DESCRIPTION

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
 WALL SECTIONS

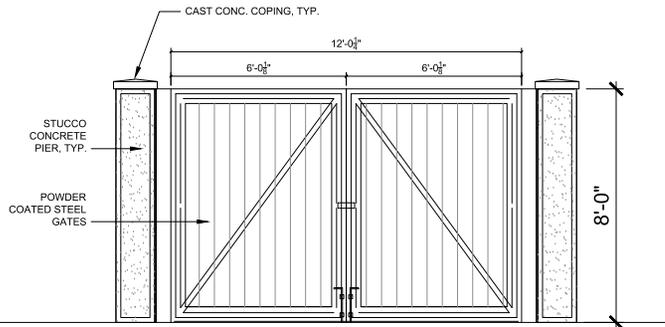
SHEET NUMBER & TITLE

A302

FINAL ARB
 09.20.2022

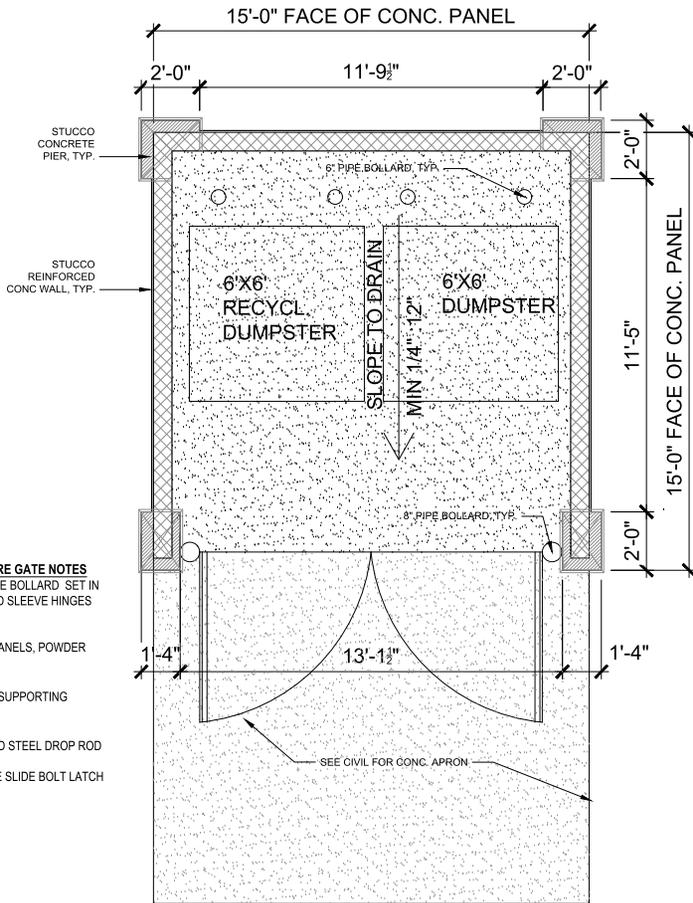


SIDE & REAR ELEVATIONS



FRONT ELEVATION

DUMPSTER ENCLOSURE GATE NOTES
 8" DIA. GALV. STEEL PIPE BOLLARD SET IN CONC. STEEL GREASED SLEEVE HINGES OR EQ.
 CORRUGATED STEEL PANELS, POWDER COATED
 WELDED 2X2X $\frac{1}{2}$ " STEEL SUPPORTING FRAME, PAINTED
 $\frac{5}{8}$ " DIA. POWDER COATED STEEL DROP ROD
 POWDER COATED GATE SLIDE BOLT LATCH W/ PAD EYELET LOCK.



1 PROPOSED DUMPSTER ENCLOSURE
 SCALE: 1/2" = 1'-0"



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 101 JOHNS ROAD
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 PHONE: 843.201.1111
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 EMAIL: info@lfkarch.com

JOB NUMBER: 21-153	DATE: 09/20/2022
DRAWN: JHR	CHECKED: LFK

REVISION NOTES:

BRICKHOPE SELF STORAGE
 HENRY BROWN BOULEVARD
 GOOSE CREEK, SC
DUMPSTER ENCLOSURE

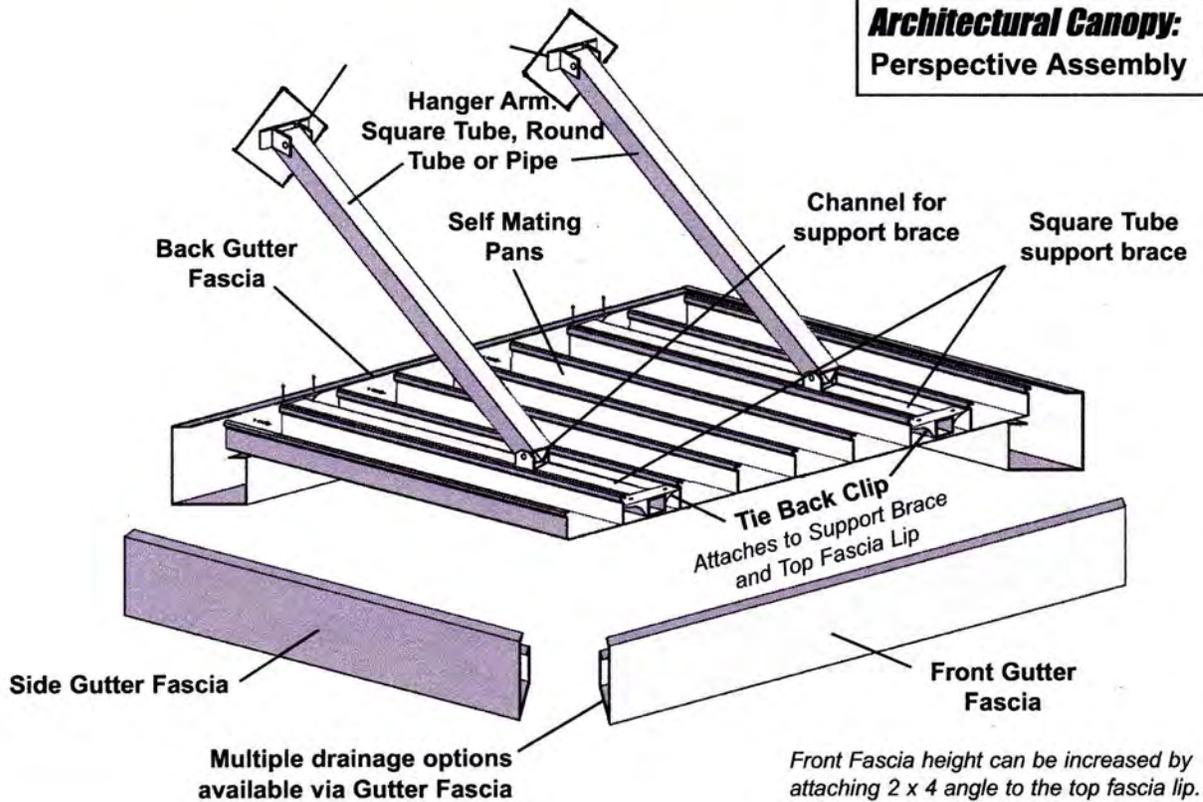
SHEET NUMBER & TITLE

A303

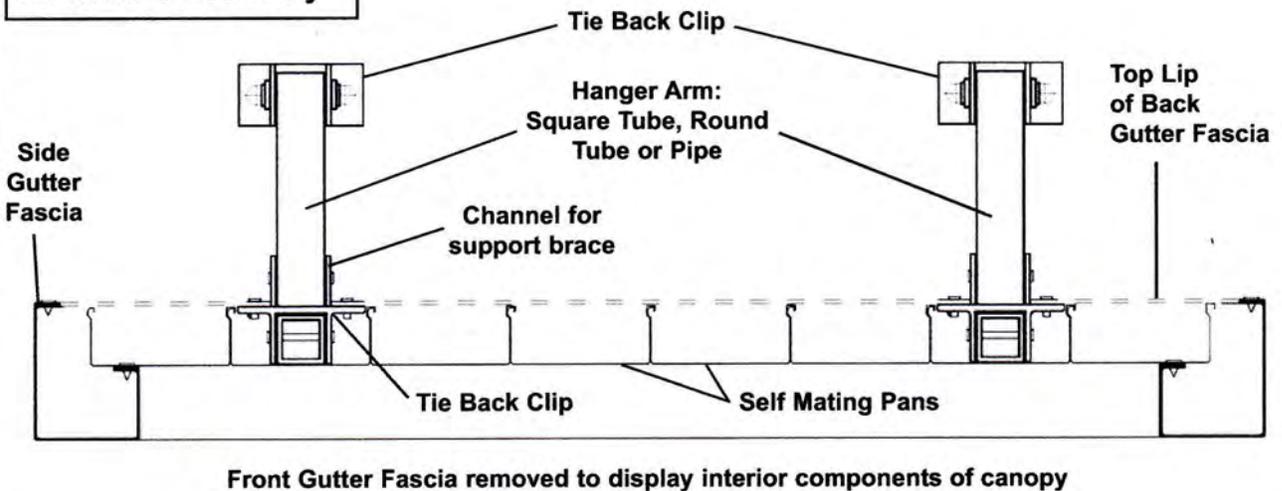
FINAL ARB
 09.20.2022

Extruded Architectural Canopy

Architectural Canopy: Perspective Assembly



Architectural Canopy: Front View Assembly



Architectural 05

**Jackson
Williams**
RETAIL SOLUTIONS

Colored Metal Products, Inc.
P.O. Box 2572
Shelby, N.C. 28151
Ph. 704-482-7943
Fax 704-482-7993

PFL540 LED

Street and Area Lighting

1/10

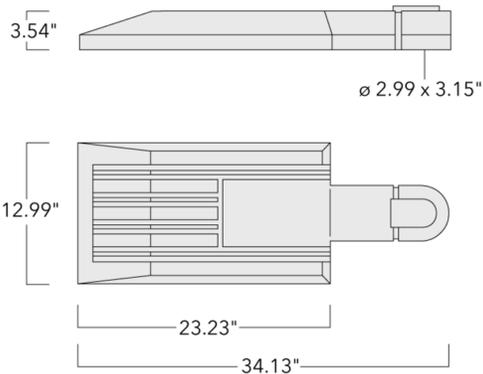


BMW Hindenburgdamm, Berlin, Germany

PFL540 LED

Street and Area Lighting

2/10



Description

IP66. Class I. IK08. Marine-grade, die-cast aluminum alloy. 5CE superior corrosion protection including PCS hardware. Silicone CCG® Controlled Compression Gasket. RFC® Reflection Free Contour main lens. CAD-optimized optics for superior illumination and glare control. Integral driver in thermally separated compartment. OLC® One LED Concept. Factory-installed LED circuit board. 0-10V Dimming comes standard with luminaire. The luminaire is factory-sealed, factory-wired and supplied with 33' of black, three conductor, flexible SEOW cord for power connection at pole-base hand hole. Recommended mounting height 12-40 ft, depending on lamp type selected. Specify product with 7 Digit product code – Finish Color. Accessories, such as mounting, optical, and electrical, must be specified separately. Example: XXX-XXXX-9004 (Black) + XXX-XXXX (Accessory 1)

PFL540 LED

Street and Area Lighting

3/10

we-ef

Specifications

Material Specification

Body:	Marine-grade die-cast aluminium alloy
Lens:	PMMA RFC Reflection Contour Lens technology
Colours:	 RAL9004 Black  RAL9007 Grey Metallic  RAL9016 White  RAL8019 Dark Bronze
 ETL	ETL, UL-1598 equivalent, CSA-C22.2#250.0. Suitable for Wet Locations.
 Quick Ship	Quickship features a one week ship time for Steplights and two week ship time for the rest of our Core products. All applicable information must be included for orders to be processed and colors must be in one of our 4 standard finishes. A maximum order quantity of 30 pieces applies.
Gasket:	Silicone rubber gasket
Fasteners:	PCS Polymer Coated Stainless Steel hardware
Ingress protection:	IP66
Impact protection:	IK08
Corrosion protection:	5CE
Surge protection:	In-line bracket 10kV Surge Protector
Mounting:	Luminaire mounts directly to pole top tenon. No bracket required for single luminaire configuration. See mounting accessories for other mounting bracket options.
Listings:	ETL, UL-1598, CSA-C22.2#250.0. Suitable for Wet Locations.
Windage EPA (ft²):	0.5

Electrical Specification

Power supply:	Integral [ECG] electronic driver 120V-277V. 0-10V dimmable, to be specified with order.
Power factor:	> 0.9
Driver / Ballast:	Standard. DALI up to 1050 mA on request

Lifetime

Ta=25°/40° L90B10 > 90000h

PFL540 LED

Street and Area Lighting

4/10



Choices

Light Distributions

	pedestrian crossing, left-hand traffic [P45L]
	pedestrian crossing, right-hand traffic [P45R]
	[S60] Type III Short
	[S65] Type III Medium
	[S70] Type II Short
	[A60] Type IV Very Short
	[R65] Type IV Medium

Nominal Lumen

5592
5903
8388
8854
8880
9360
10800
11184
11805
13320
14040
16200
17760
18720
21600
22715

Nominal Watt

48
72
96
108
144
207

Colour Temperatures

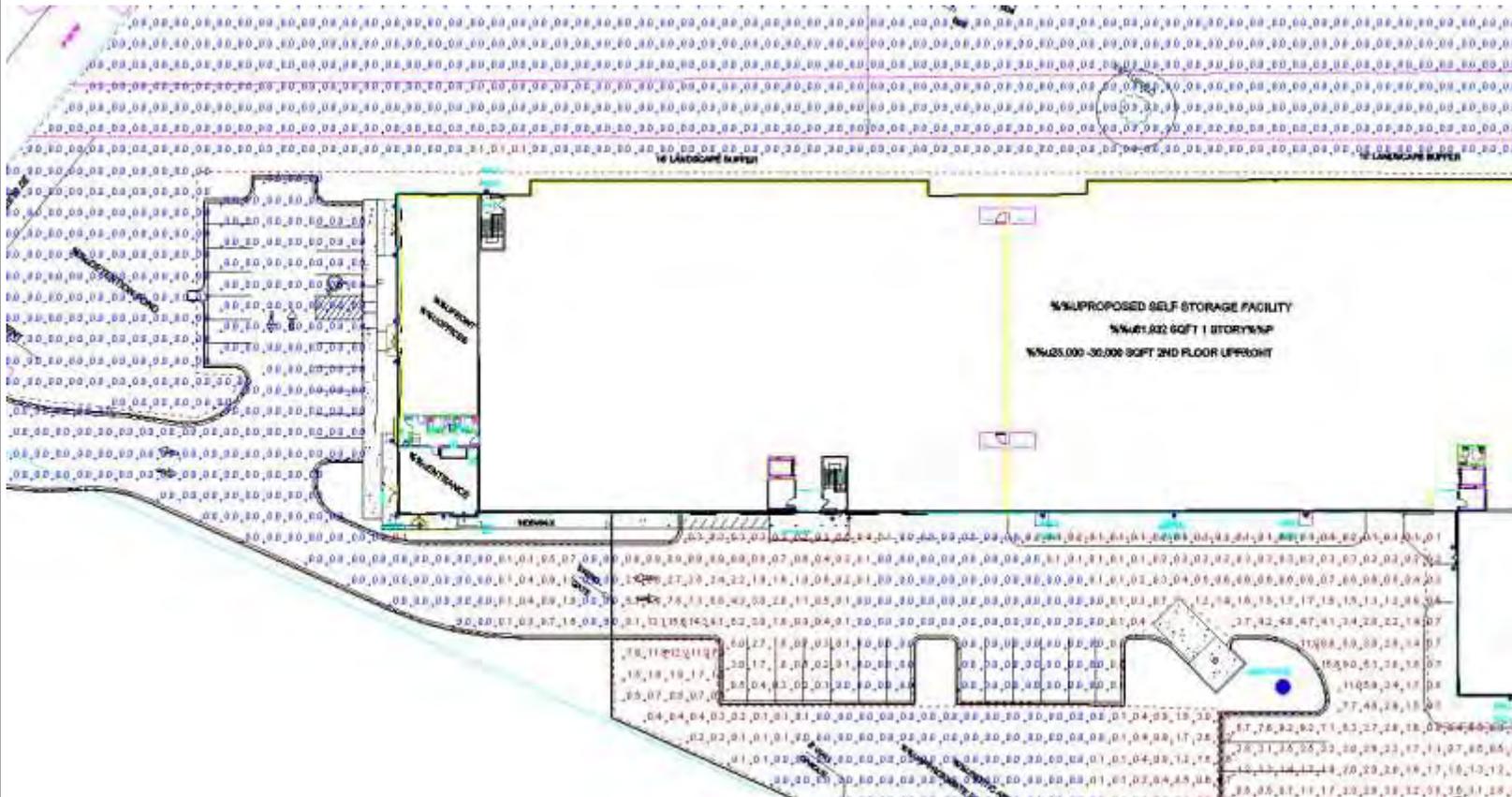
	2700 K
	3000 K
	4000 K

Colours

	RAL9004 Black
	RAL9007 Grey Metallic
	RAL9016 White
	RAL8019 Dark Bronze



Brickhope Self Storage



Current View

Statistics

Description	Symbol	Avg	Max	Min
Outer Property and Wetlands	+	0.0 fc	0.0 fc	0.0 fc
Parking	+	1.6 fc	29.3 fc	0.0 fc
Property	+	0.0 fc	22.4 fc	0.0 fc
Property Inside Wall	+	0.3 fc	12.9 fc	0.0 fc
Railroad (edge)	+	0.0 fc	0.0 fc	0.0 fc

Schedule				
Quantity	Manufacturer	Catalog Number	Description	Wattage
12	WE-EF USA	131-9673_us	PLS430 [M] IP66:LED-12/36W/3K; PLS430 LED, Wall Luminaires / Surface Mounted	42
7	WE-EF	108-2641	PFL540 LED, Street and Area Lighting PFL540 [S65] IP66:LED-48/207W/2,7K; PFL540 LED, Street and Area Lighting	214
11	Gotham Architectural Lighting	ICO4UDWC 35/30 AR LSS 60D - DOWN	INCITO 4 INCH WALL MOUNT DIRECT/INDIRECT CYLINDER, ROUND, 3500K, 3000 LUMENS, CLEAR, SEMI-SPECULAR, 60 DEGREE BEAM, CRI80	34.12

Designer

SLC

Date

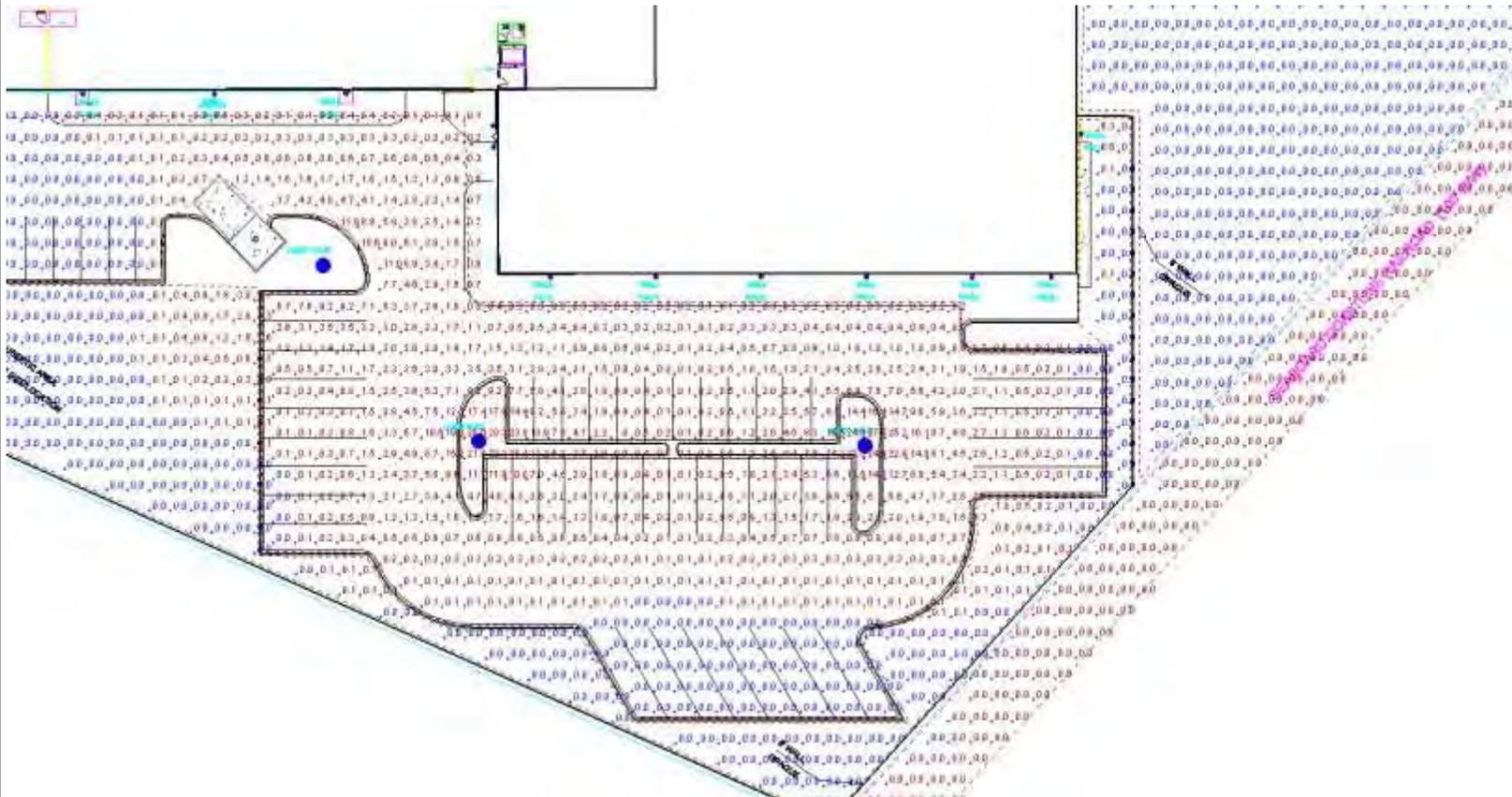
9/19/2022

Scale

Not to Scale

Drawing No.

Summary



Current View

Statistics

Description	Symbol	Avg	Max	Min
Outer Property and Wetlands	+	0.0 fc	0.0 fc	0.0 fc
Parking	+	1.6 fc	29.3 fc	0.0 fc
Property	+	0.0 fc	22.4 fc	0.0 fc
Property Inside Wall	+	0.3 fc	12.9 fc	0.0 fc
Railroad (edge)	+	0.0 fc	0.0 fc	0.0 fc

Schedule					
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Brickhope Self Storage

Designer
SLC
Date
9/19/2022
Scale
Not to Scale
Drawing No.
Summary

SEMINOLE MASONRY, LLC
3850 E. Lake Mary Blvd. • Sanford, FL 32773
Tel: 407-971-2464 • Fax: 407-971-2519
www.seminolemasonry.com
FDOT PLANT #55 INCIDENTAL PRECASTER



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DIVERSIFIED



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PRECAST WALL DIVISION



Precast walls are fabricated under strict quality control conditions. The product is manufactured from a high strength concrete mix design that reaches a compressive strength of 4500 to 5500 psi at 28 days. Precast walls are reinforced with metal fiber and steel. All materials are vertically cast, thereby creating a form finish on both sides of the wall – there is no “bad” side.

The rigid footing support works as follows: Due to the modular composition, it does not require a continuous footing for structural support. Because each section is 15ft apart, a pier footing is constructed at each 15ft interval that is designed by structural engineer to meet the local and job site specifications for the soil conditions and wind load.

Once the footing has been prepared, a 4 inch steel I-beam is set into the footing with half of the I-beam in the footing, the other half protruding out of the footing.



PRECAST WALL DIVISION



Smooth



Stacked Stone



Split Face Block



Ashlar Stone



Stand Alone Column



Ledge Stone



Brick Pattern



PRECAST WALL DIVISION



What makes Seminole Masonry's walls different from other concrete systems on the market is that this product is the only system that is vertically produced where the column and panel sections are manufactured as one integral wall section resulting in the ability of the wall to be installed faster and safer than other products.



VA Hospital Perimeter Wall

PRECAST WALL DIVISION



Camp Shelby Military Training Facility

Engineered and Designed with Unsurpassed Quality and Attention to Detail:

- Multi functional applications for commercial, residential and industrial projects including security walls, sound barriers and boundary walls
- Formed finish with intricate detail on both sides
- Seminole Masonry's walls will enhance the landscape design of any project
- The walls can be natural concrete or color stained to accommodate any design
- Walls can be engineered to sit on top of retaining wall



FPL Sub Station